

Command= 210-

Point#, Start#-End# or G#= 1-1695

Bearing	Distance	Elev	Descrip	Pnt.	Northing	Easting	Type
-----12-18-2023-----14:56:19-----D:...\BMHOME1							
	6.27		sethub	1	5000.0000	5000.0000	
	7.10		sethub	2	5006.9294	4812.6381	TRA
	6.43		t15strt	3	5000.9221	4817.1223	SS
	6.35		t17	4	4965.2817	4871.9947	SS
	6.29		t18	5	4936.3293	4918.0721	SS
	6.19		t19stp	6	4905.6592	4964.8967	SS
	5.61		t1	7	4887.0588	5080.7173	SS
	5.44		t2	8	4911.5555	5040.7007	SS
	5.42		t3	9	4925.2694	5028.2445	SS
	5.46		t4	10	4927.3526	5018.6377	SS
	5.60		t5stk	11	4956.7227	4974.8190	SS
	5.53		t6	12	4989.3368	5004.3860	SS
	5.57		t7stk	13	5015.5151	5026.9997	SS
	5.75		t8flstk	14	5049.8022	5035.8781	SS
	5.75		t9stk	15	5061.5162	5032.8121	SS
	5.66		t10	16	5066.7120	5015.7239	SS
	6.10		f3stk	17	5071.5848	5002.8108	SS
	5.67		t11	18	5083.6012	5011.8011	SS
	5.75		f2	19	5055.0997	5017.0928	SS
	5.61		t12	20	5096.2063	5021.2257	SS
	6.60		f8	21	5122.3791	5045.3166	SS
	5.51		t13	22	5104.3987	5037.9722	SS
	5.48		t14	23	5116.2224	5056.2293	SS
	6.35		f7	24	5113.7782	5025.5425	SS
	6.48		f6	25	5111.0391	5010.5588	SS
	6.69		f5	26	5109.2680	4996.0331	SS
	6.52		f4	27	5095.6604	4998.0635	SS
	7.65		pit#1	28	5132.2957	4981.8124	SS
	7.48		pit#2	29	5062.2557	4917.4172	SS
	7.06		pit#3	30	5054.9491	4919.7740	SS
	12.47		fndrrspk	31	5176.4957	4584.1549	SS
	9.38		setpk	32	5099.4045	4723.1712	SS
	6.83		f11stp	33	5043.8381	4835.6975	SS
	6.76		f10	34	5087.2832	4874.2896	SS
	6.47		f9	35	5103.7531	4887.2884	SS
	8.13		ep	36	5095.1212	4891.3215	SS
	8.22		pole	37	5086.7668	4907.9347	SS
	8.03		endfnc	38	5096.4245	4920.4408	SS
	7.96		endfnc	39	5108.6591	4930.9446	SS

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Bearing	Distance	Elev	Descrip	Pnt.	Northing	Easting	Type
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	12-18-2023			14:56:19			D:... \BMHOME1
	8.75	ep	40	5111.5507	4927.7611	SS	
	8.38	endfnc	41	5120.4949	4941.7492	SS	
	8.95	corfnc?	42	5137.6235	4956.3600	SS	
	9.75	ep	43	5146.0718	4959.3633	SS	
	11.15	ep**	44	5166.7227	4975.2449	SS	
	12.03	ep**	45	5178.1943	4982.1517	SS	
	15.05	setnail	46	5209.0254	5000.2274	SS	
	12.72	pole	47	5182.1276	4987.3867	SS	
	7.09	fndstk**	48	5073.2600	4864.3397	SS	
	7.70	endfnc	49	5078.3087	4904.8997	SS	
	7.42	endfnc	50	5069.0562	4891.9782	SS	
	7.70	ep	51	5062.7260	4881.2686	SS	
	7.19	ep	52	5051.2054	4848.3448	SS	
	7.28	ep	53	5029.1979	4849.3877	SS	
	7.37	endfnc?	54	5025.2258	4850.1098	SS	
	6.36	topculv*	55	5043.3484	4833.8380	SS	
	6.80	cbgrate	56	5033.9209	4830.9375	SS	
	6.76	bsswl**	57	5038.4685	4862.3705	SS	
	8.14	corhse	58	5012.8734	4918.3111	SS	
	8.08	corhse	59	5030.0990	4893.2338	SS	
	7.71	corhse	60	5046.9000	4904.7168	SS	
	7.83	corhse?	61	5072.0563	4929.2089	SS	
	7.89	corhse?	62	5077.9052	4920.7284	SS	
	7.97	corhse?	63	5088.0778	4927.5668	SS	
	6.09	tl6	64	4986.2141	4839.9886	SS	
	7.08	corfnc	65	4984.3942	4914.1365	SS	
	6.76	corfnc	66	4967.4958	4941.3740	SS	
	11.90	corhse	67	5177.1593	5009.2372	SS	
	7.21	corhse	68	5163.4650	5029.4120	SS	
	7.25	endfncbs	69	5129.6567	5032.5909	SS	
	9.35	ts	70	5133.6230	5034.7197	SS	
	8.06	ts	71	5127.1697	5045.3978	SS	
	9.18	ts	72	5146.2947	5079.1425	SS	
	10.44	gnd	73	5167.5086	5069.2797	SS	
	7.34	@hedge	74	5120.1328	4960.7571	SS	
	6.88	gnd	75	5114.1349	4984.2245	SS	
	6.87	@hdg**	76	5124.6189	5014.0639	SS	
	6.83	gnd	77	5087.8341	4971.0886	SS	
	6.42	gnd	78	5067.6310	4981.1454	SS	
	7.12	corgar	79	5054.6946	4981.1553	SS	
	7.06	corgar	80	5037.4060	4970.4659	SS	
	7.28	corgar	81	5048.1577	4953.0596	TRA	
	6.77	bmnlbrch	82	5029.6483	5007.6124	SS	
	7.41	corhse	83	5027.2955	4940.3814	SS	
	7.67	corhse	84	5013.7446	4931.0669	SS	
	9.17	tophdwl*	85	4860.4068	5103.8234	SS	
	9.30	tophdwl*	86	4874.7505	5080.8726	SS	
	7.82	whln	87	4883.5106	5059.5323	SS	
	6.34	endfnc	88	4891.2643	5061.7984	SS	
	5.14	topclv**	89	4883.3705	5083.0546	SS	
	5.33	tbcreek	90	4923.0270	5104.0916	SS	
	4.86	tbcreek	91	4946.4474	5141.4841	SS	
	4.57	tbcreek	92	4965.6231	5166.4062	SS	
	7.34	whln	93	5006.4794	4864.7651	SS	
	17.44	fndipin*	94	5232.9416	4618.4352	SS	
	17.80	fndipin	95	5230.7705	4635.1892	SS	
	23.23	fndip	96	5311.9289	4666.1492	SS	
	23.67	fndipin	97	5353.1726	4692.3048	SS	

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		12-18-2023		14:56:19			D:... \BMHOME1
	23.67	fndip	98	5374.7094	4723.3040	SS	
	23.29	fndipin*	99	5387.8746	4712.8227	SS	
	16.93	ipinbnt	100	5275.4546	4852.8743	SS	
	19.12	2"ipfnd	101	5335.1040	4888.6870	SS	
	21.11	fndipin	102	5356.6433	4901.8921	SS	
	21.76	ipbent	103	5396.3109	4924.6436	SS	
	22.36	fndipin	104	5454.9597	4961.5318	SS	
	17.46	offset	105	5276.1696	4827.2303	SS	
	12.47	fndipin	106	5276.4587	4826.7391	TRA	
	12.11	setspk	107	5183.8486	5126.2980	SS	
	16.44	fndipin	108	5228.1149	4985.1592	SS	
	19.58	conc/ldg	109	5236.3703	5026.6141	SS	
	13.20	fdip/blt	110	5250.4573	5105.8091	SS	
	16.94	fdipinep	111	5287.9053	5021.5076	SS	
	10.87	fdip/dh?	112	5216.5435	5160.5619	SS	
	10.87	ip/blt*	113	5217.4975	5160.4588	SS	
	19.47	setmgnlA	114	5613.9142	5223.4180	TRA	
	7.99	bmst@brd	115	4749.8766	5222.9728	SS	
	7.33	fdhubjva	116	4818.8794	5187.1479	SS	
	7.51	nlpol46	117	4801.9950	5139.7930	SS	
	7.80	RM#13FLO	118	4770.9627	5239.7030	SS	
			200	5454.9597	4961.5318		
			201	5418.6546	5021.3811	TRA	
			202	5320.3308	4961.7370	TRA	
			203	5356.6359	4901.8877	TRA	
			204	5275.4119	4852.6164	TRA	
			205	5239.1067	4912.4657	TRA	
			210	5577.3717	5299.9124		
			211	5609.9557	5319.4646	TRA	
			212	5647.5067	5256.6419	TRA	
			213	5522.8488	5181.6625	TRA	
			214	5484.2175	5243.5087	TRA	
			215	5420.1642	5209.3126	TRA	
			216	5370.6125	5289.1914	TRA	
			217	5541.9423	5357.0258	TRA	
			218	5674.4545	4772.0570	INT	
			219	5460.5155	5144.1702	TRA	
			220	5447.6615	5136.4388	TRA	
			221	5707.4920	5292.7219	TRA	
			222	5708.4926	5290.9180	INT	
			223	5647.3263	5256.5344	INT	
			224	5707.3017	5292.6308	TRA	
			230	5858.3436	5178.1381		
			231	5763.3203	5122.7253	TRA	
			232	5798.5831	5062.2559	TRA	
			233	5778.2826	5050.4177	TRA	
			234	5813.5454	4989.9484	TRA	
			235	5914.5378	5048.8422	TRA	
			236	5923.4443	5066.4923	TRA	
			240	5374.7094	4723.3040		
			241	5338.2796	4783.0774	TRA	
			242	5312.6624	4767.4647	TRA	
			243	5349.0922	4707.6912	TRA	
			244	5289.2876	4671.4861	TRA	
			245	5372.4359	4803.8945	TRA	
			246	5431.8506	4840.3360	TRA	
			247	5395.7350	4900.1013	TRA	
			248	5276.2326	4827.2381	TRA	



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-----12-18-2023-----14:56:19-----D:...\BMHOME1							
				249	5349.0924	4707.6907	
				250	5374.7098	4723.3033	TRA
				251	5468.1192	4780.2318	TRA
				252	5431.8113	4840.3600	TRA
				253	5372.3900	4803.9675	TRA
				254	5335.6110	4863.8908	TRA
				255	5310.1645	4848.0959	TRA
				256	5346.8024	4788.2972	TRA
				257	5338.2747	4783.0744	TRA
				258	5374.7094	4723.3040	TRA
				259	5395.7355	4900.1026	TRA
				260	5276.2231	4827.0629	TRA
				261	5737.9263	5107.3457	INT
				262	5323.1319	4963.4362	INT
				263	5279.3341	5035.6066	TRA
				264	5655.9996	5242.4955	TRA
				265	5698.9900	5268.3050	INT
				266	5704.1526	5271.4044	TRA
				267	5456.0552	5122.4575	INT
				268	5587.1232	5201.1451	TRA
				269	5740.1830	5211.3894	TRA
				270	5652.6900	5159.9864	TRA
				271	5617.1556	5219.1752	INT
				272	5653.1797	5159.1563	INT
				273	5587.1232	5201.1451	TRA
				274	5689.2101	5099.1413	TRA
				275	5691.1804	5100.3691	INT
				276	5713.1947	5195.1868	TRA
				277	5623.1537	5141.1300	TRA
				278	5751.1955	5136.3995	TRA
				279	5759.6884	5122.2531	TRA
				280	5265.5811	4844.8577	INT
				281	5287.2469	4833.3745	INT
				282	5289.6006	5041.8341	INT
				283	5298.1216	5027.6410	INT
				284	5695.4266	4743.5534	INT
				285	5169.5611	4969.7889	TRA
				286	5130.5294	5033.5814	INT
				287	5085.1882	4919.1501	INT
				288	5093.6793	4905.0025	TRA
				289	5079.0528	4896.2240	INT
				290	5357.2302	4694.7886	INT
				291	5100.1192	4720.2480	TRA
				292	5099.8920	4720.6251	INT
				293	5145.2129	5060.5548	INT
				294	5061.9939	4788.1409	INT
				295	5231.9012	4900.8800	TRA
				296	5062.8783	4799.2997	INT
				297	5063.6908	4807.8570	INT
	24.01		1setmagn	300	5535.4189	5000.9662	INT
	26.22		4setnlrt	301	5767.7912	5134.6849	TRA
	9.37		magnl32	302	5099.4045	4723.1712	SS
	21.12		magnl102	303	5356.5670	4901.9530	SS
	25.06		setspk	304	5594.1603	4840.0315	SS
	23.60		endclpav	305	5547.4400	5010.8616	SS
	25.00		tophyd	306	5459.4592	4967.3889	SS
	22.97		h20cov?	307	5459.2345	4971.0435	SS
	23.12		endwll	308	5570.6771	5031.9082	SS

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	12-18-2023			14:56:19			D:... \BMHOME1
	24.45	topstk.3	309	5630.3421	5066.6096	SS	
	24.98	@wll	310	5657.8454	5029.0218	SS	
	25.07	corhse	311	5713.3054	5067.2943	SS	
	24.69	corhse	312	5701.5811	5089.0383	SS	
	24.50	cldr**	313	5664.0209	5073.1186	SS	
	24.28	endwll	314	5678.2587	5049.6862	SS	
	22.85	corshd**	315	5581.1418	5061.4233	SS	
		line	316	5603.0785	5106.0718	SS	
	23.00	gnd***	317	5581.0689	5135.5023	SS	
	22.75	ts	318	5592.1963	5141.0471	SS	
	21.53	topipin*	319	5858.3041	5178.1544	SS	
	23.80	corhse	320	5841.0417	5144.7591	SS	
	26.47	corhse	321	5791.1516	5121.3268	SS	
	26.38	corshed	322	5777.4530	5117.5284	SS	
	25.83	corshed	323	5768.6542	5111.7612	SS	
	24.37	corhse	324	5723.1228	5100.6291	SS	
	24.62	corhse	325	5733.1753	5095.2802	SS	
	25.20	corhse*	326	5740.5791	5081.8960	SS	
	26.07	ledgy**	327	5753.5702	5101.2540	SS	
	24.70	clenddr	328	5740.5977	5122.7186	SS	
	24.26	russtk	329	5694.0204	5100.2782	SS	
	25.28	setnlpol	330	5640.1794	5053.3648	SS	
	25.99	setnlpl*	331	5747.6651	5145.0536	SS	
	24.31	bs	332	5763.1760	5158.0943	SS	
	27.43	ts**	333	5784.4660	5158.2770	SS	
	27.87	ts**	334	5781.4492	5138.4595	SS	
	24.59	3setspk	335	5855.3332	5017.1799	SS	
	25.38	fndip	336	5758.4710	5120.4198	SS	
	27.29	ts	337	5669.3431	5090.7667	SS	
	26.71	ts	338	5684.9428	5102.7783	SS	
	26.46	ts***	339	5706.3223	5123.9459	SS	
	24.01	bs	340	5717.2116	5119.8156	SS	
	24.32	pit#1***	341	5733.4282	5142.6761	SS	
	27.69	ts	342	5696.3776	5165.5798	SS	
	26.75	pit#3	343	5686.2503	5167.1062	SS	
	25.33	OS	344	5686.9229	5149.9689	SS	
	22.83	PIT#2BS	345	5678.5025	5141.6508	SS	
	22.00	gnd	346	5652.6111	5145.3187	SS	
	19.94	bs	347	5606.3352	5152.3547	SS	
	20.96	bs	348	5611.0397	5126.9950	SS	
	22.04	gnd	349	5647.0481	5133.3937	SS	
	23.86	bs	350	5659.0445	5106.6591	SS	
	26.56	ts	351	5702.1450	5153.1731	SS	
	24.59	os	352	5676.8768	5165.1090	SS	
	21.35	bs	353	5651.3532	5175.0616	SS	
	18.99	low	354	5614.9376	5196.2602	SS	
	19.02	ep	355	5589.9810	5207.4685	SS	
	19.50	epbs	356	5664.9394	5255.5583	SS	
	20.79	bs	357	5682.6176	5229.7369	SS	
	23.83	os	358	5695.8029	5214.4680	SS	
	26.22	ts	359	5712.3423	5195.4207	SS	
	24.46	bs	360	5728.8001	5182.5161	SS	
	25.23	gnd	361	5741.0830	5167.3190	SS	
	24.46	anchor	362	5754.4288	5152.3629	SS	
	25.51	ts	363	5756.1436	5184.2035	SS	
	24.44	bs	364	5737.4116	5193.8850	SS	
	24.83	endwll	365	5734.8185	5208.6263	SS	
	24.49	offset**	366	5737.4638	5221.4472	SS	

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	12-18-2023	14:56:19					D:... \BMHOME1
	22.78	gnd	367	5727.6091	5240.5026		SS
	21.58	bsledge	368	5718.7468	5259.5806		SS
	24.26	outcrop	369	5715.9953	5269.1971		SS
	21.12	endoutcr	370	5699.4878	5254.0893		SS
	18.86	pole	371	5671.6409	5281.2752		SS
	20.79	bs	372	5682.1270	5228.7547		SS
	20.44	bs	373	5666.7438	5202.2411		SS
	24.06	os	374	5678.8192	5194.5369		SS
	27.95	ts	375	5696.4092	5183.5049		SS
	26.36	ts	376	5700.1268	5150.9850		SS
	25.32	os	377	5688.9135	5128.6269		SS
	24.57	bs	378	5729.9183	5156.1037		SS
	24.66	bs	379	5779.3730	5179.4200		SS
	23.77	mhcover?	380	5633.1760	5067.1638		SS
	18.97	setmgnlA	381	5613.8180	5223.5223		SS
	27.06	sethubB	382	5707.3933	5162.8563		SS
	26.22	nl#301	383	5767.7995	5134.6905		SS
		mgnl#300	384	5535.4186	5000.9666		TRA
		mgnl#32	385	5099.4045	4723.1712		SS
		ipin#102	386	5356.5668	4901.9532		SS
		nl#46	387	5209.0092	5000.1864		TRA
		hub#2	388	5007.1124	4812.6471		TRA
	11.17	fndipelb	389	5609.9557	5319.4646		SS
	12.08	topipfd	390	5576.9911	5299.8639		SS
	18.56	corhse	391	5710.6928	5325.0772		SS
	17.36	appcorhs	392	5744.8150	5342.8819		SS
	21.04	woodstk*	393	5617.8692	5136.4865		SS
	18.48	fndrrspk	394	5522.5844	5181.3955		SS
	18.04	fndpk	395	5447.5140	5136.2766		SS
	19.26	bmnlS??*	396	5520.6267	5183.4794		SS
	27.42	topipin*	397	5778.2826	5050.4177		SS
	23.33	setspk**	398	5668.2860	5177.5311		SS
		wpsurvey	500	4856.5314	5321.2855		
		wpsurvey	501	4952.7479	5161.5212		
		wpsurvey	502	4867.0834	5109.9306		TRA
		wpsurvey	503	5018.6873	4856.8668		TRA
		wpsurvey	504	5164.0231	4977.8474		TRA
		wpsurvey	505	5130.4892	5033.5294		TRA
		wpsurvey	506	5217.4393	5160.6344		TRA
		wpsurvey	507	5265.8807	5211.9938		TRA
		wpsurvey	508	5318.3015	5252.9121		TRA
		wpsurvey	509	5374.1101	5289.0736		TRA
		wpsurvey	510	5181.6770	5608.6021		TRA
		wpsurvey	512	5408.4710	5200.0367		TRA
		wpsurvey	513	5447.1639	5135.7883		TRA
		wpsurvey	514	5250.4573	5105.8091		TRA
		wpsurvey	515	5359.9758	5280.5613		TRA
		wp?	516	5169.1821	4969.2810		TRA
		WPCLCRK	517	4782.2880	5251.4747		TRA
		intdist	600	4776.4700	5243.1900		
		clcrk	601	4776.4746	5243.1911		INT
		clcrk	602	4776.4746	5243.1911		INT
		INTRDS	603	5021.7575	4854.0429		INT
		wpsurvey	700	4853.9181	5316.4376		
		wpsurvey	701	4952.0870	5157.8655		
		wpsurvey	702	4867.0617	5105.2280		TRA
		wpsurvey	703	5021.7581	4854.0428		TRA
		wpsurvey	704	5165.5991	4976.7969		TRA

JOB #8 432Hilliard [1695]

Bearing	Distance	Elev	Descrip	Pnt.	Northing	Easting	Type
-----	-----	-----	-----	-----	-----	-----	-----
	12-18-2023			14:56:19			D:... \BMHOME1
			wpsurvey	705	5131.3847	5032.0633	TRA
			wpsurvey	706	5216.7693	5160.2253	TRA
			WPCLCRK	717	4780.5366	5245.7214	TRA
				718	5021.6568	4855.7496	INT
				719	4776.1017	5243.7804	INT
				720	5022.0843	4855.0741	TRA
				721	4864.3346	5104.3532	TRA
				722	5164.2811	4979.7291	TRA
				723	5129.7888	5034.8224	INT
				724	5169.1821	4969.2810	TRA
				725	4776.1017	5243.7804	INT
				726	5021.2718	4856.3581	INT
				727	5165.4411	4978.7264	INT
				728	5289.6006	5041.8341	INT
				729	5169.1821	4969.2810	TRA
				730	5169.4492	4969.9757	TRA
				731	5219.3478	4999.8183	INT
				732	5164.4606	4978.1133	TRA
				733	5021.2519	4856.3412	INT
				734	5014.4904	4852.0766	INT
				735	4884.6975	5057.6524	INT
				736	5217.0550	5160.4011	TRA
				737	5130.3058	5033.9507	TRA

Point#, Start#-End# or G#= 4-







# Town of Rye

## BUILDING DEPARTMENT

10 Central Road Rye, NH 03870  
phone (603) 964-9800 : fax 603-964-2964

May 3, 2006

Ms. Anne Biatobrzkeski  
Stockton Services  
PO Box 1306  
Hampton, NH 03842

RE: Septic Design for 21 Wallis Road, Rye, NH

Dear Ms. Biatobrzkeski:

I have reviewed the revised septic system submitted to my office today and have a few concerns.

Under the Rye Building Code, Section 7.9.4 Prohibited Conditions, septic systems are prohibited from being within 100' of protected wetlands, which encompasses the majority of the lot. Protected wetlands are described in the Zoning Ordinance Section 301.7. The Rye Zoning Ordinance Section 301.7 (B) (2) also prohibits septic systems in the wetlands buffer. Under Rye Building Code, Section 7.9.4.6 there is an exception ONLY for a replacement system.

Under the Rye Building Code Section 7.9.7, the building inspector is authorized to waive any requirements of the Building Code when the system services an existing building. Because the intent of this project is to demolish and rebuild, none of the requirements can be waived by the building inspector for review.

The plans show a 50' setback to freshwater marsh, but the correct buffer is 100' (Rye Zoning Ordinance Section 301.7(A) (1)).

The design is based on an existing 2-bedroom house and 1-bedroom cottage. All my records show one house and a structure that is 10x12 which does not meet the requirements for a separate living structure. I have concerns that this three-bedroom design is based on the assumption there are actually three legal bedrooms and that may not be correct. I request that I have access to each structure to determine the number of bedrooms that legally exist.

None the less, this proposal includes demolishing these two existing structures and replacing with a much larger footprint (3,640 sf) two story house. Under Building Code Section 7.9.6, New Construction Standards, if new construction is planned, the septic system must be designed requiring NO state or town waivers. I believe this design requires waivers from the State and also the town, in order to be constructed.

I am concerned that the test pits, although close, are not under the location of the proposed system. The depth to water table is marginal, and I request that additional test pits be dug and recorded in the location of the system.



The existing topography is difficult to read, however, it appears the existing grade where the system is proposed is at elevation 9.0. If the seasonal high water table is at 25" (two feet below grade), under the Rye Building Code Section 7.9.3.2, the bed bottom must be at 11.0, but it is shown at 7.5'. We have no provision for reducing the separation to ESHWT for clean solution systems.

There are several variances the applicant will need for the proposed house as well. The intent of this letter is to identify the issues surrounding only the septic system.

This septic design will be withheld from the state until the following has been completed:

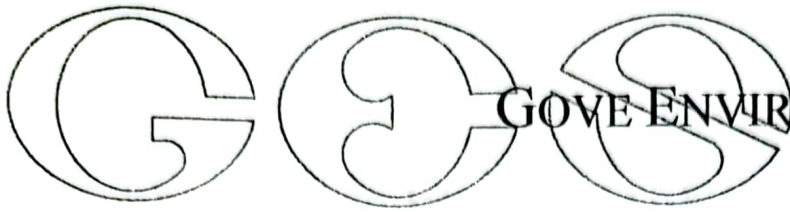
1. A viewing by the building inspector and another town representative to determine the number of bedrooms that will be determined to be the basis for the new design;
2. Additional test pit under the bed area; and
3. Obtain approvals from the wetlands board, conservation commission, and board of adjustment, prior to submitting to the State.

Please let me know if there are any questions.

Sincerely,

  
Susan Zarlengo  
Rye Building Inspector

CC: Acting Town Administrator, Alan Gould  
Conservation Commission  
Board of Adjustment  
State DES  
George Beliveau



GOVE ENVIRONMENTAL SERVICES, INC.  
AGENT

NH DES WETLANDS BUREAU  
MAJOR IMPACT (TIDAL BUFFER ZONE)  
DREDGE & FILL APPLICATION

GEORGE BELIVEAU  
PROPOSED SINGLE LOT REDEVELOPMENT  
WALLIS ROAD  
RYE, NEW HAMPSHIRE  
MAY 2005

Prepared By

Gove Environmental Services, Inc.  
118 Portsmouth Ave Ste B201, Stratham, NH 03885-2487  
*Ph (603) 778 0644 / Fax (603) 778 0654*  
*info@gesinc.biz*

GES 2001197





Michael P. Nolin  
Commissioner

March 28, 2006

STOCKTON SERVICES  
PO BOX 1306  
HAMPTON NH 03843-1306

RE: WN: 200601413, George Beliveau, Map/Lot: 17.3 / 25, Rye

Dear Designer:

A review of the information you provided for this proposed disposal system has been completed. We regret to inform you that this plan is disapproved at this time. However, if the following items are addressed, we will reconsider the application:

Please be advised that per my letter of 3-10-2006 all regulations must be met including the distance to surface water and the shwt, as this is considered new construction. Any new construction using a clean solution must also show a location where a conventional size field can be placed and meet all Env-ws 1000 regulations.

April 19 If you have any questions, please respond to me at the address above.

**DES ITEMS HAVE BEEN ADDRESSED:**

1) HAVE DESIGNATED AREA  
ADEQUATE FOR CONVENTIONAL  
LEACH FIELD WHICH MEETS DES  
SETBACKS

2) HAVE REVISED CLASSIFICATION OF  
DRAINAGE SWALE ACROSS RD  
TO HYDRIC B, PER JIM GOVE,

cc: Designer File # 00348

**ELIMINATING SETBACK  
WAIVER REQUEST.**

3) HAVE ADDED SITE LOADING CALCS

4) 2' WAIVER TO SHWT OK PER JIM FALCON.

Sincerely,

Eric J. Thomas  
Subsurface Systems Bureau  
Water Division



## 21 WALLIS ROAD



**MBLU :** 173/ 025/ / / /  
**Location:** 21 WALLIS ROAD  
**Owner Name:** BELIVEAU GEORGE & JANICE  
**Account Number:** 000133



### Parcel Value

Item	Assessed Value
Buildings	41,900
Extra Building Features	0
Outbuildings	4,900
Land	184,200
<b>Total:</b>	<b>231,000</b>



### Owner of Record

BELIVEAU GEORGE & JANICE  
 73 BROCKTON ST  
 MANCHESTER, NH 03102



### Ownership History

Owner Name	Book/Page	Sale Date	Sale Price
BELIVEAU GEORGE & JANICE	2886/2905	8/9/1991	121



### Land Use (click here for a list of codes and descriptions)

Land Use Code	Land Use Description
1010	SINGLE FAM



### Land Line Valuation

Size	Zone	Assessed Value
3.50 AC	CON	184,200



### Construction Detail

Item	Value
Style	Bungalow
Model	Residential
Occupancy	1

Grade	Average
Stories	1 Story
Exterior Wall 1	Wood on Sheath
Roof Structure	Gable/Hip
Roof Cover	Asph/F GlS/Cmp
Interior Wall 1	K Pine/Wood
Interior Floor 1	Carpet
Heat Fuel	Gas
Heat Type	Hot Water
AC Type	None
Bedrooms	2 Bedrooms
Bathrooms	1 Bathroom



## Building Valuation

Item	Value
Living Area	772 square feet
Replacement Cost	62,599
Year Built	1937
Depreciation	33%
Building Value	41,900



## Outbuildings (click here for a list of codes and descriptions)

Code	Description	Units
FGR1	GARAGE-AVE	400
CAB2	W/PLUMBING ETC	120

CABIN W/ PLUMBING, ETC



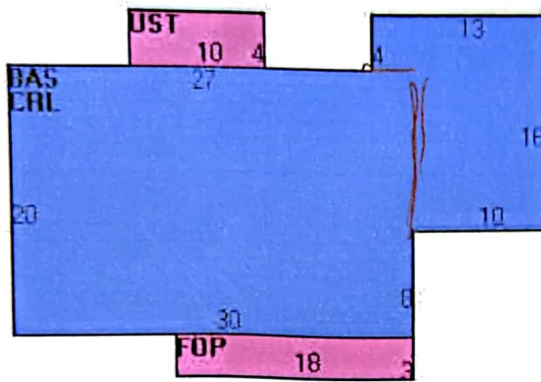
## Extra Features (click here for a list of codes and descriptions)

Code	Description	Units
No Extra Building Features		



## Building Sketch (click here for a list of codes and descriptions)





600  
160  
12  
772

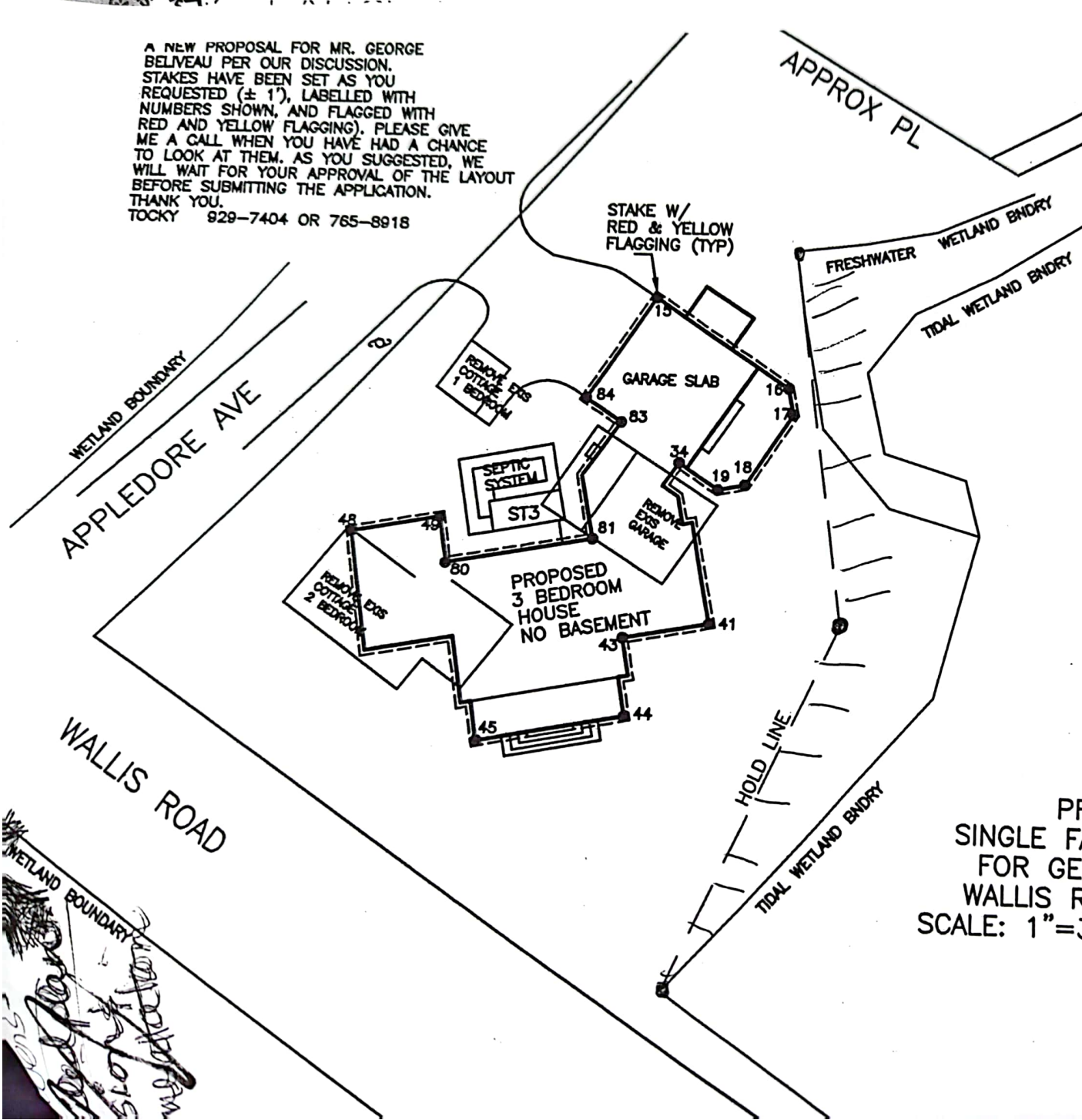
827  
890

### Subarea Summary [\(click here for a list of codes and descriptions\)](#)

Code	Description	Gross Area	Living Area
BAS	First Floor	772	772
CRL	Crawl Space	772	0
FOP	Porch, Open	54	0
UST	Utility, Storage, Unfinished	40	0
<b>Total</b>		<b>1638</b>	<b>772</b>

Powered by **Vision Appraisal Technology**

A NEW PROPOSAL FOR MR. GEORGE BELIVEAU PER OUR DISCUSSION. STAKES HAVE BEEN SET AS YOU REQUESTED ( $\pm 1'$ ), LABELLED WITH NUMBERS SHOWN, AND FLAGGED WITH RED AND YELLOW FLAGGING). PLEASE GIVE ME A CALL WHEN YOU HAVE HAD A CHANCE TO LOOK AT THEM. AS YOU SUGGESTED, WE WILL WAIT FOR YOUR APPROVAL OF THE LAYOUT BEFORE SUBMITTING THE APPLICATION. THANK YOU.  
 TOCKY 929-7404 OR 765-8918



FRANK  
559-1513

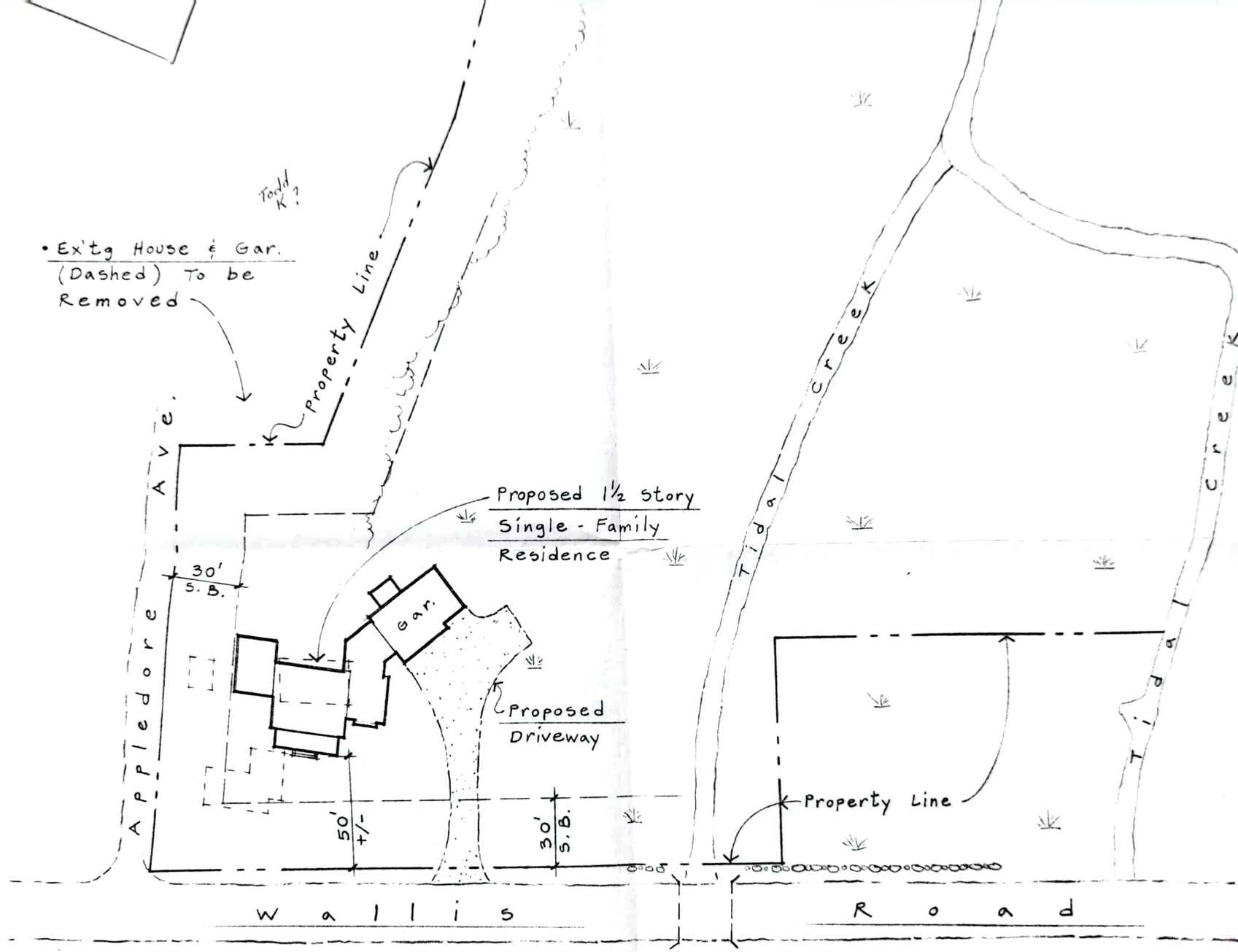
VERBAL  
OK to  
proceed  
from  
FRANK

PROPOSED  
SINGLE FAMILY RESIDENCE  
FOR GEORGE BELIVEAU  
WALLIS ROAD RYE, NH  
SCALE: 1"=30' FEB 23, 2005

3/14/05

WETLAND BNDRY  
WALLIS ROAD  
APPLEDORE AVE  
WETLAND BNDRY

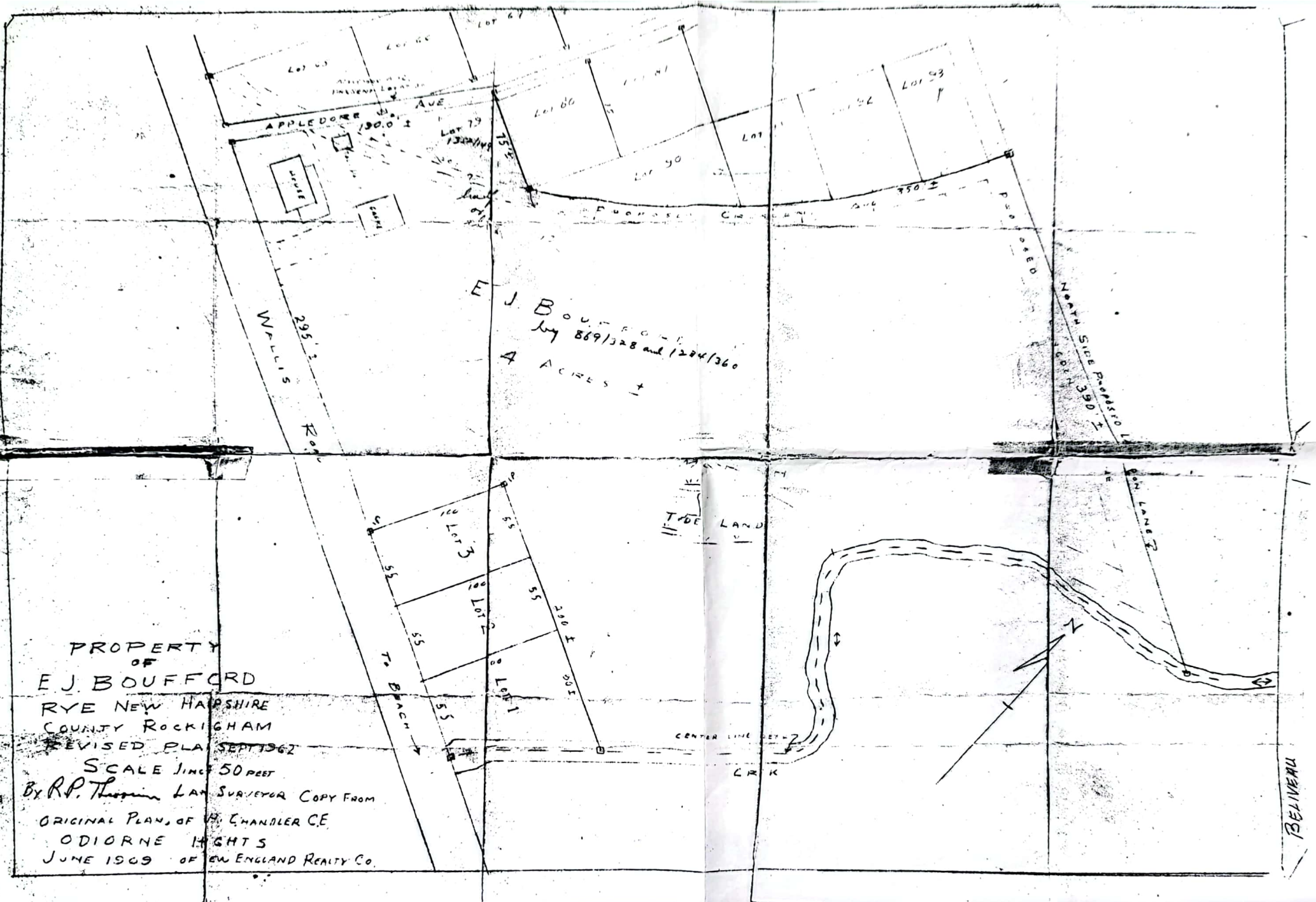
N/O  
27  
JRT  
AX  
  
S  
96  
R  
AX  
  
INA  
2  
JCI  
X  
  
F  
05  
AX  
  
F  
W  
3  
1  
CH  
F



SITE DEVELOPMENT PLAN

1" = 40'

#5  
5/24/2004



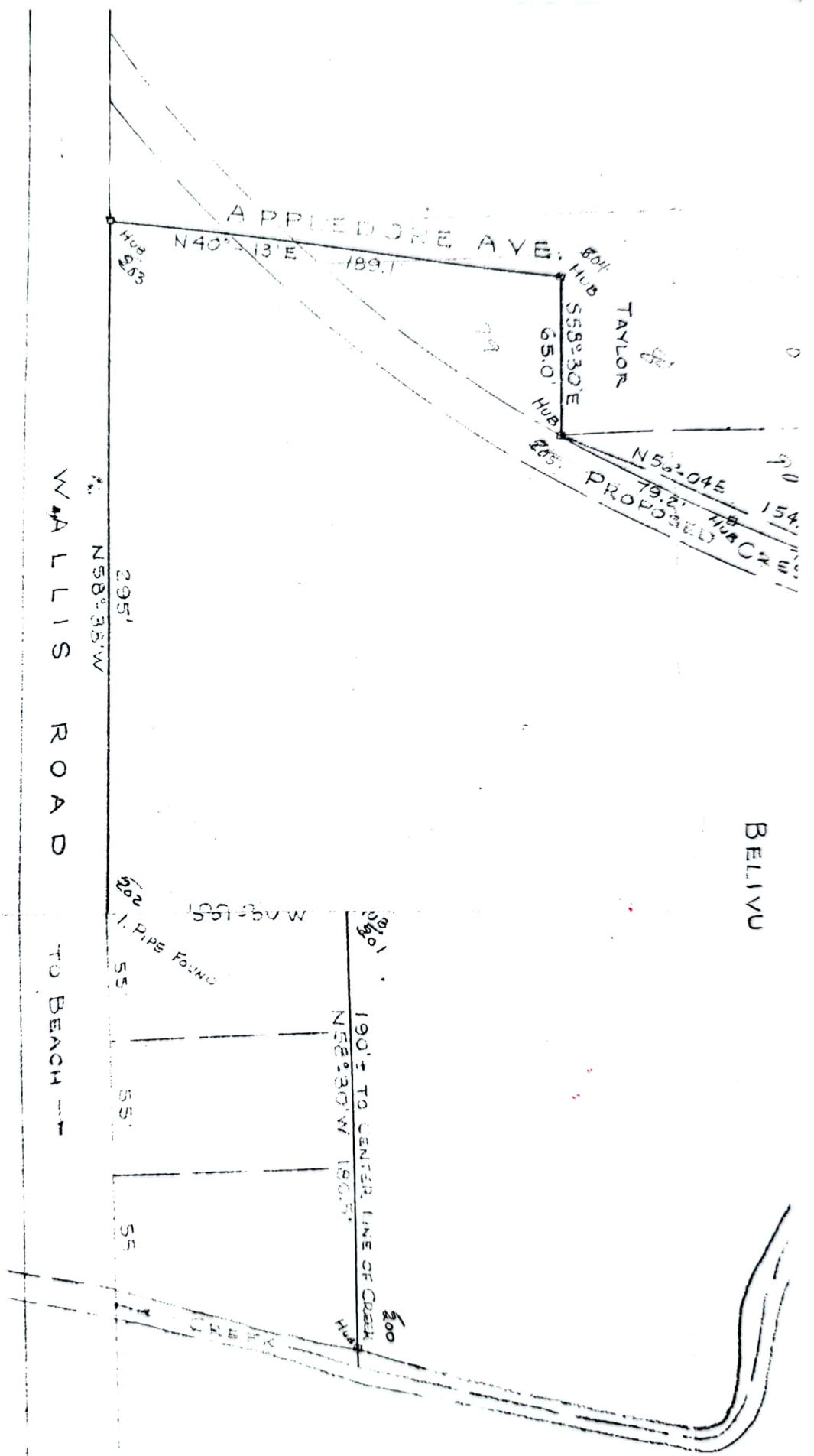
PROPERTY  
OF  
E J BOUFFORD  
RYE NEW HAMPSHIRE  
COUNTY ROCKINGHAM  
REVISED PLAN SEPT 1962

SCALE 1 INCH = 50 FEET  
By R.P. Thompson LAND SURVEYOR COPY FROM  
ORIGINAL PLAN, OF H. CHANDLER C.E.  
ODIORNE HEIGHTS  
JUNE 1969 OF NEW ENGLAND REALTY CO.





BELIEU



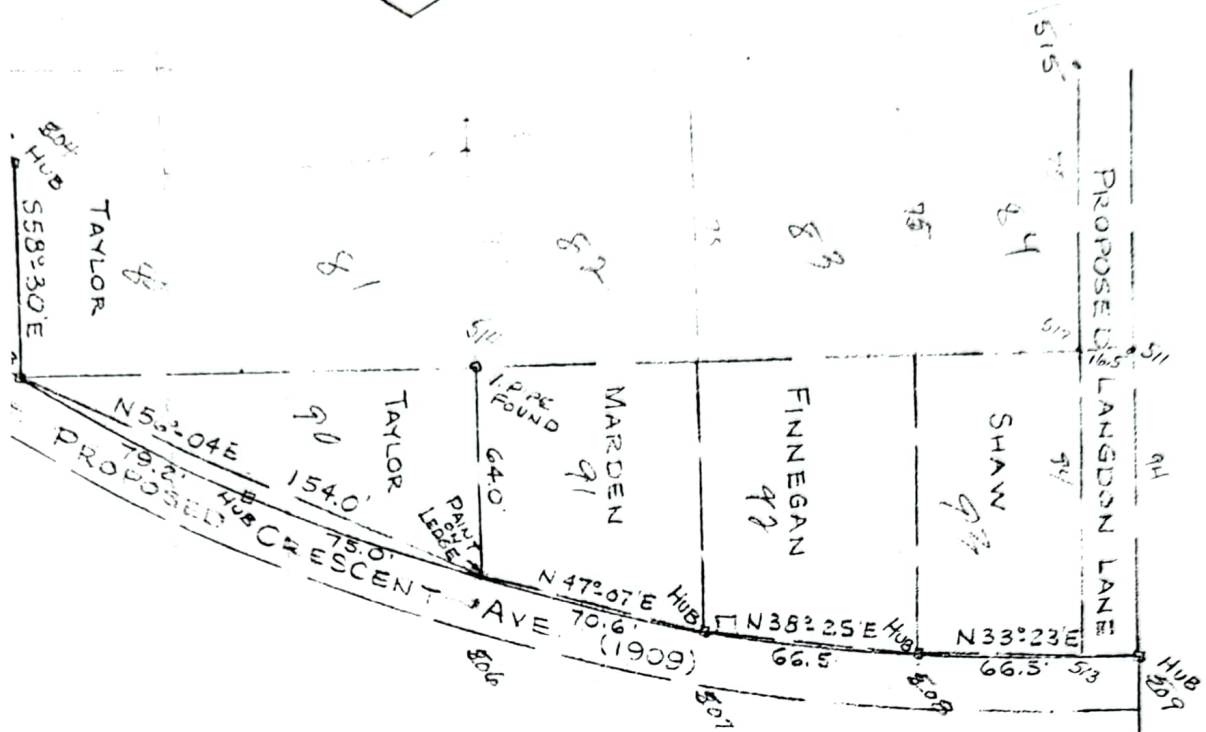
LAND OF

IDOLA A. AND VIOLET BELIEU

IN

RYE, NEW HAMPSHIRE

~~445~~ APPROX 1" = 60'

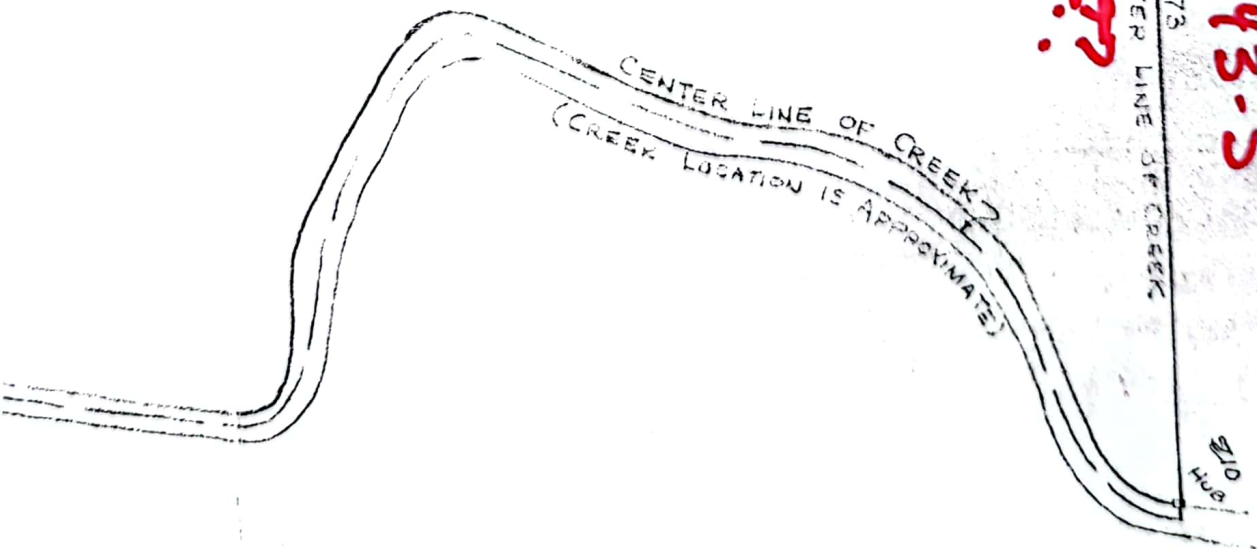


BELVU

~~445~~

S59°30'E 373  
379.4 TO CENTER LINE OF CREEK

343.5



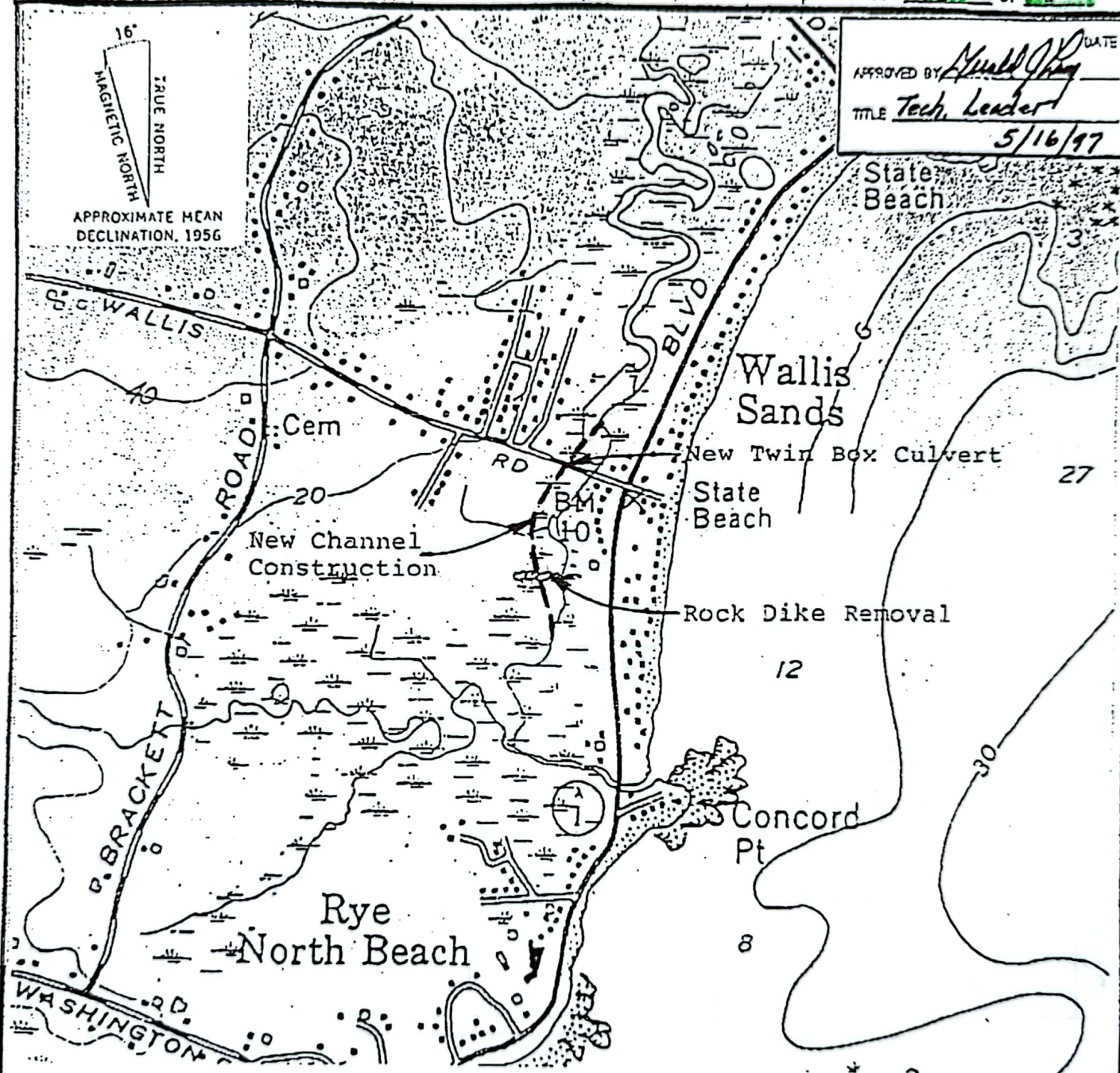


## NATURAL RESOURCES CONSERVATION SERVICE

U.S. DEPARTMENT OF AGRICULTURE

PROJECT WALLIS ROAD SALT MARSH RESTORATION SITE		STATE TOWN OF RYE, NH	
SUBJECT PLAN VIEW LOCATION MAP		JOB NO.	
BY ANL	DATE 5/97	CHECKED BY	DATE
		SHEET <u>1</u> OF <u>4</u>	

APPROVED BY *[Signature]* DATE  
TITLE *Tech. Leader*  
5/16/97



CONTOUR INTERVAL 20 FEET

DATUM IS MEAN SEA LEVEL

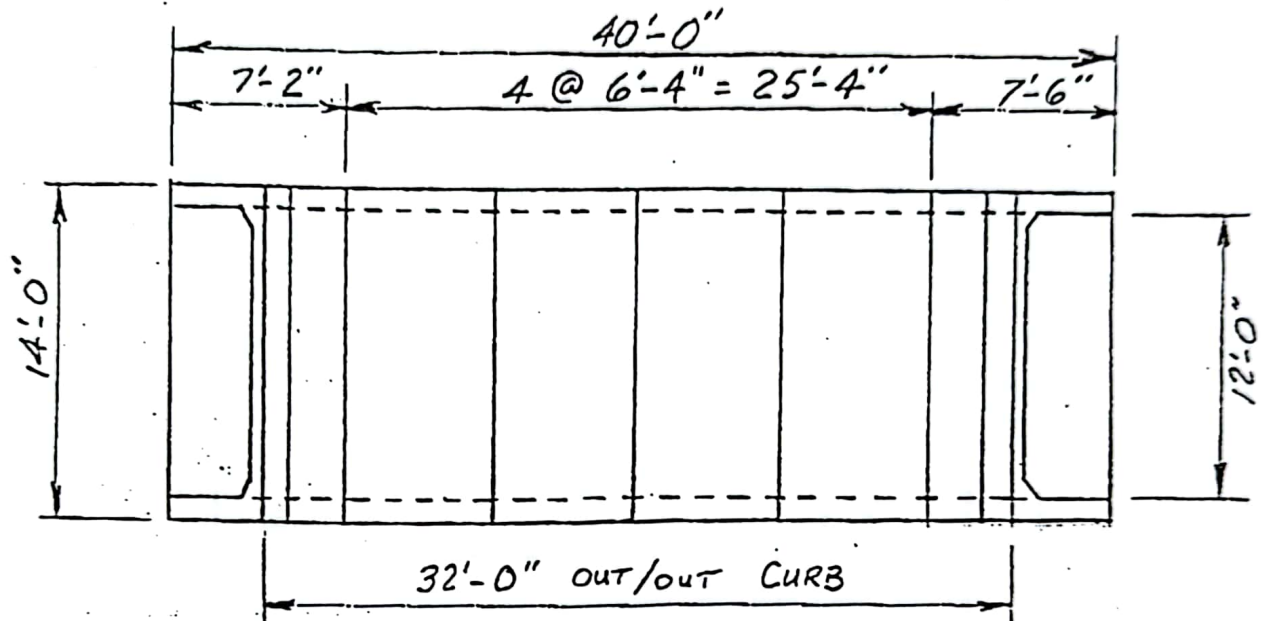
DEPTH CURVES AND SOUNDINGS IN FEET—DATUM IS MEAN LOW WATER

SHOULDER LINE SHOWS REPRESENTS THE APPROXIMATE LINE OF MEAN HIGH WATER  
THE MEAN RANGE OF TIDE IS APPROXIMATELY 8.7 FEET

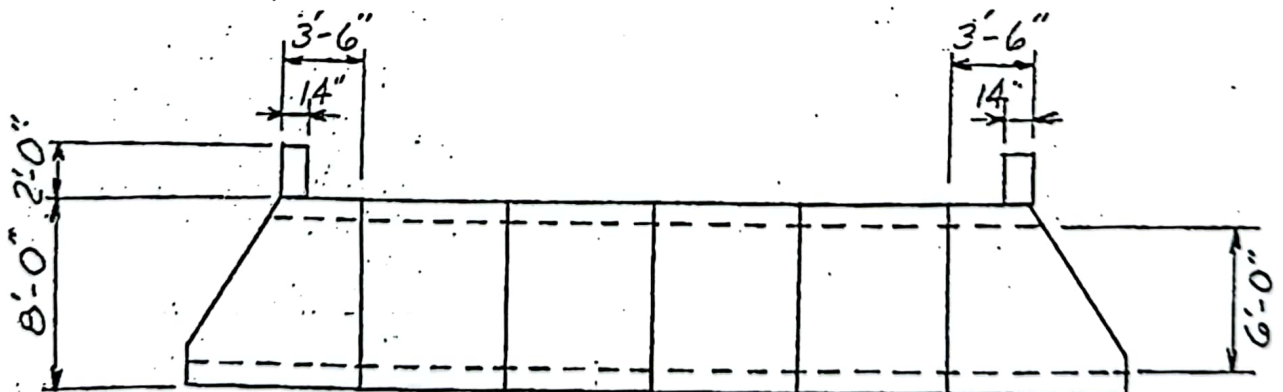
1000 0 1000 2000 3000 4000 5000

## NATURAL RESOURCES CONSERVATION SERVICE

PROJECT WALLIS ROAD SALT MARSH RESTORATION SITE				STATE TOWN OF RYE, NH	
SUBJECT BOX CULVERT LAYOUT DETAILS				JOB NO.	
BY ANL	DATE 4/97	CHECKED BY	DATE	SHEET <u>2</u> OF <u>4</u>	



PLAN  
SCALE:  $\frac{1}{8}" = 1'-0"$



ELEVATION  
SCALE:  $\frac{1}{8}" = 1'-0"$

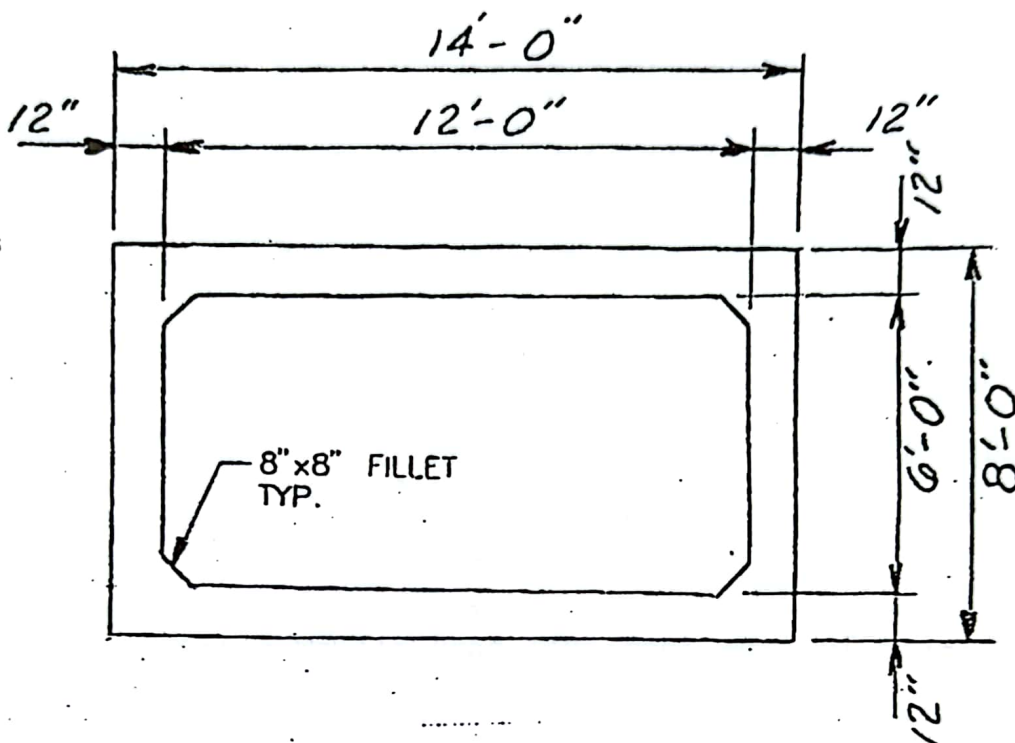
**NOTE:** The above layout shows details for a single precast box culvert. Twin box culverts are required. The clear space between the box installations shall be per manufacturers recommendations.



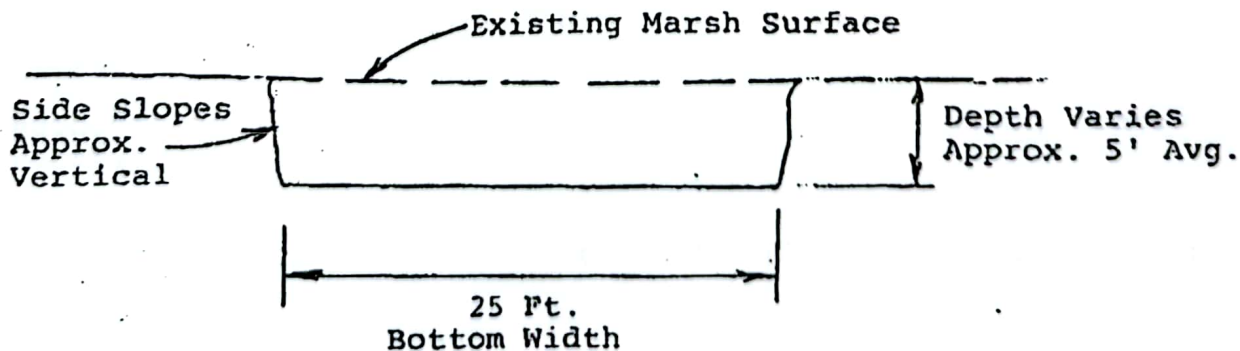
U.S. DEPARTMENT OF AGRICULTURE  
NATURAL RESOURCES CONSERVATION SERVICE

PROJECT WALLIS ROAD SALT MARSH RESTORATION SITE				STATE TOWN OF RYE, NH
SUBJECT BOX CULVERT DETAILS				JOB NO.
BY ANL	DATE 4/97	CHECKED BY	DATE	SHEET <u>3</u> OF <u>4</u>

NOTE:

Twin Boxes  
Req'd.


## SECTION

SCALE:  $\frac{1}{4}'' = 1'-0''$ 

TYPICAL SECTION  
CHANNEL CONSTRUCTION

NATURAL RESOURCES CONSERVATION SERVICE  
U.S. DEPARTMENT OF AGRICULTURE

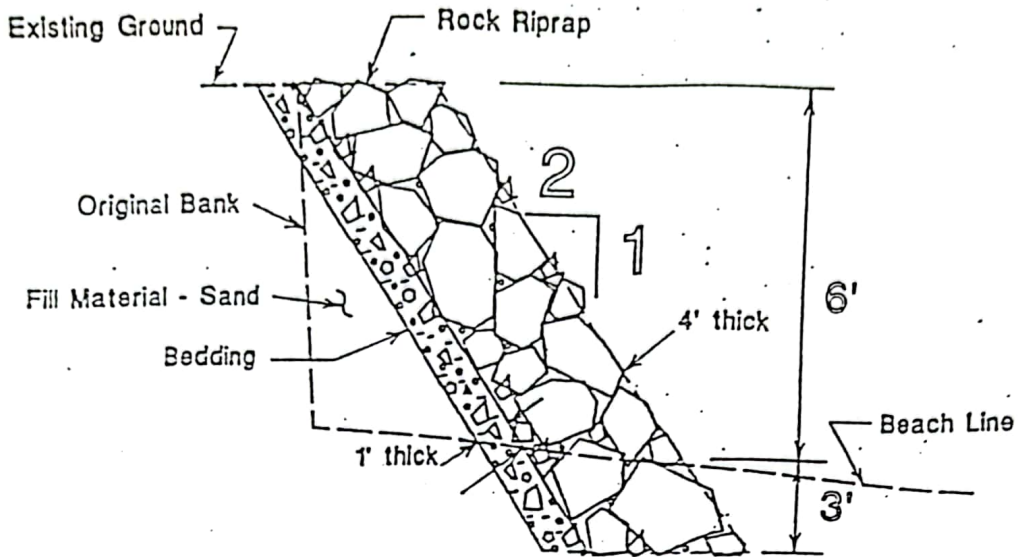
PROJECT WALLIS ROAD SALT MARSH RESTORATION SITE		STATE TOWN OF RYE, NH	
SUBJECT CONSTRUCTION DETAILS		JOB NO.	
BY ANL	DATE 5/97	CHECKED BY	DATE
		SHEET 4 OF 4	

CONSTRUCTION DETAILS:

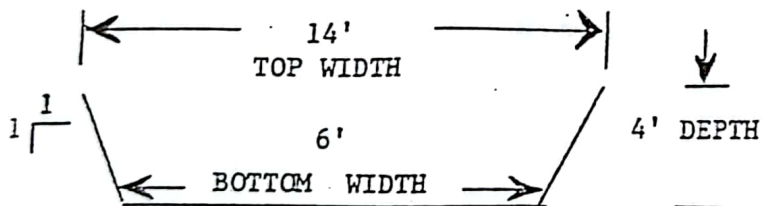
1. Locate and identify all underground utilities before any construction starts. Call 1-888-DIGSAFE.  
A Rye Water District 8" watermain along the northside of Wallis Road needs to be relocated to accomodate the installation of the new box culvert.  
An overhead utility line currently exists along the south side of Wallis Road.
2. Appropriate sediment and erosion control measures shall be installed and maintained until work is complete and disturbed areas are stabilized.
3. TBM-1, Top of concrete bridge curb on south side of existing bridge at center post. Elev. 8.03 NGVD.  
TBM-P, Nail in base of NET&T Pole. #46 on south side of Wallis Road 90± feet west of bridge. Elev. 7.62 NGVD.
4. Work shall consist of installation of twin precast concrete box culverts under Wallis Road 140± feet west of existing bridge. A new channel connecting the twin boxes to the existing channel to both the north and the south of Wallis Road as well as removal of a rock dike to the south of Wallis Road are a part of the work.
5. The invert of the new box culverts shall be installed at Elev. 0.4 feet NGVD.
6. The design of the box shall be in accordance with ACI 318 Building Code Requirements for Reinforced Concrete, AASHTO Standard for Highway Bridges, and ASTM C850, Precast Reinforced Concrete Box Sections for Culverts with Less than 2 ft. of Cover for AASHTO HS-20 Live Load conditions.
7. Concrete shall have a design strength of  $f'_c = 5,000$  psi. and include DCI corrosion inhibiting admixture by W.R. Grace. Amount per manufacturers recommendations.
8. Reinforcing steel shall be ASTM A615, Grade 60, Epoxy coated rebar.
9. All dredged and excess excavated materials shall be placed in approved areas outside of the Wetlands Bureau jurisdiction.



# WETLAND RESTORATION DESIGN DETAILS



Typical Cross Section  
CONCORD POINT

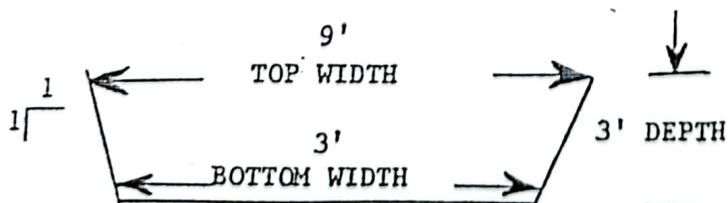


TYPICAL CHANNEL CROSS SECTION  
WALLIS ROAD

RECEIVED

APR 04 1997

ENVIRONMENTAL SERVICES  
BY NH DES WETLANDS BUREAU



TYPICAL CHANNEL CROSS SECTION  
MARSH ROAD

Stockton Services  
PO Box 1306  
Hampton, NH 03843-1306

George Beliveau  
73 Brockton Street  
Manchester, NH 03102

December 9, 2004

Dear Mr. Beliveau:

I have spoken with Jim Gove and Frank Richardson today regarding your latest proposal. I accept the fact that you do not wish to scale down your construction envelope based on our best professional advice. That being said, I anticipate that trying to move the proposal through the necessary regulatory channels will require substantially more work on my part than we originally discussed. I will apply my best efforts as always but cannot express confidence about obtaining the required approvals. I expect to be paid for my time regardless and will need written authorization to proceed on that basis. My time will be billed at \$60/hr; survey crew time (2 man) will be charged at \$85/hr. I ask that you agree to reimburse me for any additional costs such as printing, application fees, and other outside expenses generated by the permitting process. I will bill on a monthly basis for work to date and continued work will be contingent on timely payment (30 days) of outstanding balances.

If this is acceptable, please reply in writing that I am authorized to proceed per this letter and I will then prepare something to take back to Frank Richardson. I believe we all agree that it will be pointless to proceed without his blessing.

Thank you.

A handwritten signature in black ink, appearing to read "Today" or a similar name, with a long horizontal stroke extending to the right.

Anne W. Bialobrzewski  
NHLLS #752  
NHDES Designer #348  
Stockton Services



WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that I, Violet Beliveau, an unremarried widow of 100 Becker Street, Manchester, New Hampshire

FOR CONSIDERATION PAID, grant to

George Beliveau and Janice Beliveau of 73 Brockton Street, Manchester, New Hampshire

as joint tenants with rights of survivorship

with WARRANTY COVENANTS to said grantees,

A certain tract or parcel of land with the buildings thereon situated on Wallis Road, in Rye, County of Rockingham, State of New Hampshire, being bounded and described as follows:

Beginning at a bound on the northeasterly side of Wallis Road and the southeasterly side of Appledore Avenue; thence Northeasterly by said Avenue 190 feet, more or less, to Lot No. 80; thence Southeasterly by Lot No. 80, 65 feet, more or less, to a bound located 75 feet, more or less along said course, southeasterly from a bound in the southerly line of Appledore Avenue as originally laid out; thence Easterly and northeasterly by a curve to the left by lots numbered 90 to 93, inclusive and by the end of Langdon Lane 350 feet, more or less to a bound; thence Southeasterly by an extension of the northeasterly line of said Langdon Lane 390 feet more or less, to a bound in the center of the creek; thence in a general southwesterly direction by the center of said creek to a bound at the easterly corner of Lot NO. 1, owned now or formerly of James Ried; thence Northwesterly parallel with the Wallis Road by Lots numbered 1, 2 and 3, 200 feet, more or less, to an iron pipe at the northerly corner of lot 3, owned now or formerly by James F. Cavanaugh; thence Southwesterly by Lot 3, 100 feet to an iron pipe; thence Northwesterly by Wallis Road, more or less to the point of beginning.

Said premises are conveyed together with any rights appurtenant thereto in Appledore Avenue, as originally laid out or as now existing and are subject to the rights of any parties thereto and to Crescent Avenue which bounds the southerly and southeasterly lines of Lots numbered 79, and 90 to 93, inclusive.

Said premises contain 4 acres, more or less, as shown on a plan of land of E. J. Boufford, made by R. P. Therrien, Surveyor, dated September 1962. Said premises included Lot No 79, as shown on a plan of land of New England Realty Co. at Ocean Ridge made by Charles H. Chandler, C.E. dated June 1909, recorded in the Rockingham County Registry of Deeds in Volume 633, Page 480.

The above premises are subject to the rights granted to Henry Mohn and Dorothy Mohn to alter the course of the creek, as described in deed recorded in Volume 1228, Page 215. See Volume 1352, Page 149, Volume 1234, Page 860 and Volume 869, Page 328.



The State of New Hampshire  
*Department of Environmental Services*



Michael P. Nolin  
Commissioner

March 10, 2006

STOCKTON SERVICES  
PO BOX 1306  
HAMPTON NH 03843-1306

RE: WN: 200601413, George Beliveau, Map/Lot: 17.3 / 25, Rye

Dear Designer:

A review of the information you provided for this proposed disposal system has been completed. We regret to inform you that this plan is disapproved at this time. However, if the following items are addressed, we will reconsider the application:

Please be advised that this is considered new construction and all regulations must be met.

If you have any questions, please respond to me at the address above.

Sincerely,

Eric J. Thomas  
Subsurface Systems Bureau  
Water Division

cc: Designer File # 00348



**COVERT ARCHITECTURE**

Bradford Covert, Architect

26 Winnicut Road North Hampton, NH 03862 603-964-6733

April 28, 2004

**N H ENERGY CODE  
ARCHITECT'S CERTIFICATION**

- 1) Bradford Covert, Covert Architecture  
26 Winnicut Road No. Hampton, NH 03862 (603) 964-6733

- 2) License No. 2141



- 3) Proposed Single Family Residence located:

Wallis Road , Rye , NH Rockingham County Tax Map 17.3, Lot 25

- 4) Project Owner: Mr. & Mrs. George Beliveau

73 Brockton St., Manchester, NH 03102 (603) 624-0113

- 5) General Contractor: Unknown at this time.

- 6) The proposed structure has been designed and reviewed by the architect and determined to be in compliance with all applicable requirements of RSA 155-D and the energy code adopted pursuant thereto.

9/15/04

George & Janice Beliveau  
73 Brockton Street  
Manchester NH 03102  
603-624-0113

September 17, 2002

Dorri Wiggin  
NH DES Wetlands  
Corporate Drive Suite 2  
Portsmouth NH 03801

Dear Dorri:

Pursuant to our phone conversation on September 6<sup>th</sup> 2002, I would like to thank you for your time and assistance in resolving this matter. On February of 1997 we received a letter from Mr. James Raynes, exhibit #1, referring to a salt marsh restoration project involving a tidal flushing of the salt marsh by the dredging of Parsons Creek. Stating the intentions of the Rye Conservation Commission to work with the landowner to replace undersized and/or failed culverts, and open trenching work to improve the tidal flow and relieve storm surge.

Our property extends to the center of Parsons Creek as shown on the original plan dated June 1909 by Charles H. Chandler C.E., Odiorne Heights of New England Realty Company. Exhibit #2 delineates the Beliveau property in June 1966 by Wright, Pierce, Barnes and Wyman of Portsmouth, NH. In addition, exhibit #3, the registry of deeds book 2886, page 2905, at Rockingham County Registry of deeds, dated August 1991, reaffirms the surveyed premises.

Our main concern is that the general conditions that apply to all wetlands permits were not met and were not posted in a prominent location, as required. The wetlands permit clearly states that the "permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of other." Regrettably, the Conservation Commission unquestionably disregarded this permit and failed to respect our property by which we are now suffering the consequences. This disregard for property is illustrated by the removal of 42 ft of our chain link fence and cemented post and replacing it with a new creek and newly installed road culvert, where none previously existed on our property, as denoted by exhibits #4, 5 and 6.

Our concern now is that the creek is eroding and developing into a much larger creek than originally intended. The enlargement of the culvert east and west at route 1-A has allowed a larger amount of water to enter into the marsh for the purpose of a tidal flushing to Marsh Rd. However, the volume of water needed for a tidal flushing to Marsh Rd is too great for the distance it has to travel thus, causing a small great bay in our yard as displayed in exhibits #7 and 8. Please note the flooding is at normal tide. This is an area in which we previously were capable of mowing and enjoying. Also, seaweed snares on the rocks at the inlet preventing water from exiting out of the marsh, as indicated in the video enclosed.



This is an area of great distress and urgency, for if a northeastern storm were to strike we would potentially be in a severe flood plain compounded by the water, due to the Wallis Rd culvert only operating at approximately 25% of its intended flow. Also, it should be noted that there is only a 12 inch culvert near Marsh Rd an area where some experts say it should be at least 4 ft if not larger, for a proper tidal flushing.

When the new culvert was installed, at Wallis Rd, the road was raised 26 inches from its original elevation, as demonstrated in exhibits #9, 10 and 11. As displayed in the photos one is capable of seeing the fence in relation to the original road elevation. The new road surface of our driveway has now been raised 10 ½ inches, causing potential damage to our cars due to bottoming out, when entering or exiting the property, see exhibits #12 and 13. This excess water on our property, also, allows for stagnate water to reside creating an opportunity for additional grounds for mosquito breeding, in addition to standing ponds that do not tidal flush, which has been enhanced due to the newly installed creek, please refer to exhibit #14.

A sinkhole also exists at the southwest corner of the culvert approximately 8 inches in diameter, exhibit #15. Enclosed is a photo of the driveway elevation in relation to Wallis Rd, November 10, 1991, see exhibit #16 and that it was the same elevation as our driveway, and letter from attorney Mark Connors, exhibit #17, dated August 26, 1982.

The runoff water pipe at Wallis Rd, in the new brook, is 16 inches from the top of soil to centerline of drain, exhibits #18 and 19. This could potentially freeze causing water backup to the corner of Appledore and Wallis Rd runoff drain.

All of the above complaints have greatly diminished the value of our property and its use to us as residents. We are willing to work with the Rye Commission to remedy this situation as soon as possible. With this in mind we are requesting that the DES approve a permit which would allow us to raise our land by a 200 ft frontage from the Appledore Rd marker to a point east and west portion of our property, with a gentle slope as required. After DES approval we would like to have our engineering firm submit drawings of the future location and topography. Given this opportunity, we would like to meet with Rye selectmen and the building committee to submit drawings for approval of our new retirement home. We are proposing to install a new septic system and geothermal heating and cooling system to prevent the emission of fossil fuels.

We would like at some point to meet with DES official and a representative of Rye at the site to set a format that we can all live with. Then we can put this all to rest. We thank you for your anticipated response regarding our proposal, as time is of the essence.

Yours Truly,

George and Janice Beliveau

  
Enclosures: Exhibits 1-19

Video of work in progress



THE STATE OF NEW HAMPSHIRE

ROCKINGHAM, SS.

JANUARY TERM, 1975

SUPERIOR COURT

E-4146

Leonidas E. Taylor  
Dorothy Taylor  
Randall Marden  
Mary Marden, and  
Walter Finnigan

v.

Idola A. Beliveau  
and  
Violet Beliveau

DEFENDANTS' REQUESTS FOR RULINGS OF LAW  
AND FINDINGS OF FACT

1. With respect to the proposed Crescent Avenue, as shown on Chandler Plan for Ordiorne Heights, dated June 18, 1909 and filed as Plan #03413, the law applicable is the following:

"R.S.A. 238:7 Dedicated Ways. Any street, lane or alley within this state which has been dedicated to public use by being drawn or shown upon a plan of lands platted by the owner, and the sale of lots in accordance with such plan, shall be released and discharged from all public servitude unless such street, lane or alley shall be opened, built or used for public travel within twenty years from such dedication."

2. The preponderance of the evidence in this case leads to the only conclusion that Crescent Avenue from 1909 to date was never used as a public way, nor was it ever used as a right of way.

3. Evidence of indefinite and occasional public use of a street within twenty years of its dedication to such use by the filing of a subdivision plan in the county registry of deeds and of subsequent sales of lots in accordance with the plan were properly found to be insufficient to constitute public acceptance of the street





State of New Hampshire  
DEPARTMENT OF ENVIRONMENTAL SERVICES

6 Hazen Drive, P.O. Box 95, Concord, NH 03302-0095  
(603) 271-2147 FAX (603) 271-6588



(5) 5/29/04

March 5, 1998

James Raynes, Chairman  
Rye Conservation Commission  
10 Central Road  
Rye, NH 03870

Re: File 97-485, Parsons Creek Salt Marsh Restoration Project

Dear Mr. Raynes:

We approved the above cited project on the February 27, 1998 decision report. After reviewing this proposal with Frank Richardson, of this office, and Richard Roach of the Army Corps, I am deeply concerned by the fact that construction work was initiated in advance of your receipt of a posting permit, or submission of adequate plans upon which such a permit could be based. Although your initial application was received in April of 1997, you did not provide us with complete plans until February 10th of this year.

I suspect that you would be among the first to be concerned if a private property owner followed a similar course of action with a project that was important to them. It is my belief that government should be held to the same standards of responsibility and compliance as any private citizen, and there is no exemption in RSA 482-A that allows municipalities or federal agencies to work without a permit.

I am also equally concerned by the involvement of the US Fish and Wildlife Service in this violation, especially since it was their concerns that led to the exclusion of restoration projects from the NH State Programmatic Permit just last June. I do not understand this double standard.

Sincerely,

Kenneth N. Kettenring  
Wetlands Bureau Administrator

cc: Mike Bartlett, USFWS  
Rich Roach, USACE  
Commissioner Varney



REPLY TO  
ATTENTION OF

DEPARTMENT OF THE ARMY  
NEW ENGLAND DIVISION, CORPS OF ENGINEERS  
424 TRAPELO ROAD  
WALTHAM, MASSACHUSETTS 02254-9149

5/29/04

March 3, 1998

Mr. Geoff Wilson  
Northeast Wetland Restoration Inc.  
P.O. Box 702  
Rowley, MA 01969

1998

Subject: Unauthorized work and discharges at Parsons Creek Estuary in Rye

Dear Mr. Wilson,

As Mr. Roach explained to you during his field inspection on Friday 27 February 1998, the work you are performing for the Rye Conservation Commission and several Federal sponsors requires a Corps of Engineers Permit which has not been issued. Consequently, the work has proceeded in violation of Federal Laws and Regulations.

Under the Rivers and Harbors Act of 1899 an Army Corps of Engineers Permit is required for any work in or effecting the Navigable Waters of the United States. Under Section 404 of the Clean Water Act an Army Corps of Engineers permit is also required for any activity involving the discharge of dredged or fill material into all waters of the United States and their adjacent wetlands.

Your project clearly involves both work within Navigable waters and discharges within waterways and wetlands and should not proceed further until properly permitted. As the contractor you are responsible. By undertaking this work without the necessary permit you have subjected yourself the the enforcement provisions of our regulations. I have enclosed a copy of our Regulations for your review. You will see that repeated or willful violations are subject to referral for legal action and that the penalties are substantial.

With the apparent participation of several Federal agencies we are concerned that this project proceeded to construction without the necessary permits. By copy of this letter we are informing each of the Federal sponsors of this violation and offering to work with them to avoid a recurrence.

In the meantime I would like your written assurance that you now understand our jurisdiction and will hereafter obtain the necessary permits before proceeding with regulated work.





Drawing Name: ord-to-tocky

Project Name: 420beliveau

Project Path: C:\Land Projects R2\420beliveau\

Username: Mom

Number	Northing	Easting	Elevation	Raw Desc
1	4885.2515	4920.7417	.	JWD84
2	4598.4015	4740.6828	.	JWD84
3	4989.2887	4814.0077	.	JWD84
4	4717.5948	4815.5018	.	JWD84
5	5065.8384	4846.5380	.	J84 IP
6	5043.1274	4789.0781	.	J84 IP
7	5007.4308	4739.7122	.	J84 CC
8	4770.9998	4780.7616	.	JWD84
9	4771.8784	4777.9612	.	JWD84
10	4795.3178	4762.8368	.	J84 DI
11	4856.1143	4727.9144	.	J84 DI
12	4719.5317	4691.3415	.	J84 CC
13	4639.7170	4766.6151	.	J84 UR
20	4999.6733	5000.5396	.	J84
21	4578.5534	4737.3323	.	JWD84
22	4639.7237	4766.6190	.	J84
23	4885.0417	4921.1124	.	J84
24	5122.8834	5061.1248	.	J84
25	5045.4684	5032.9956	.	J84
26	4956.0643	4800.4650	.	J84
27	4964.1734	4786.6899	.	J84 CC
28	4975.7837	4793.5247	.	J84 CC
29	5026.5141	4707.3480	.	J84 CC
30	4961.8816	4669.3002	.	J84 CC
31	4911.1512	4755.4768	.	J84 CC
32	4862.0305	4726.5606	.	J84 CC
33	4965.8719	4662.5219	.	J84 CC
35	4845.7581	4735.5300	.	J84 CC
36	4776.6819	4852.8711	.	J84 CC
37	4882.1623	4888.3286	.	=JWD
38	4918.0055	4912.3981	.	JWD
40	4679.3629	4803.3698	23.32	PKR
42	4886.2849	4922.3549	24.57	PKR
50	4504.9790	4701.5394	.	PKS50
51	4465.2930	4599.3947	.	PKS
52	4565.2568	4577.4218	.	HBS
53	4547.8573	4624.2910	.	HBS53
54	4531.4920	4479.5731	21.50	PKS
55	4654.7424	4642.1060	24.68	SPKS
56	5078.8751	5048.5302	25.11	PKR AKA301
57	5271.7510	5151.9665	16.27	PKR AKA302
58	4972.2005	4984.6982	25.08	PKS
59	4935.0405	4757.7145	29.11	SPKS
60	4782.8477	4784.5139	24.47	SPKS
61	4719.4499	4698.2204	25.13	SPKS
62	5462.3494	5253.7215	.	SPKS
63	5436.4363	5388.2392	.	SPKS
64	5594.6089	5550.3957	.	SPKS
65	5517.1516	5713.6289	.	HUBS
66	5261.7011	5625.6292	.	HBS
67	5277.2105	5361.1978	.	HBS
68	4955.8105	5744.3100	.	HBS
69	4591.8772	5524.3344	.	HBS
70	4743.5275	5431.5920	.	DHS LEDGE
71	4668.4897	5333.4762	.	SPKS
72	4734.1982	5210.4613	.	PKF
73	4495.6193	5074.4911	.	SPKF TOCY
74	4590.8900	4924.9124	.	PKS

DURGIN  
DRAWING  
PROJECT  
POINTS

DM HOME1  
JOB 18

FORFEITATION  
724



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

## SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name <b>GEORGE AND JANICE BELIVEAU</b>	For Insurance Company Use: Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <b>21 WALLIS ROAD</b>	Company NAIC Number
City <b>RYE</b> State <b>NH</b> ZIP Code <b>03870</b>	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <b>TAX MAP 17.3 LOT 25, ROCKINGHAM COUNTY REGISTRY OF DEEDS BOOK 2886 PAGE 2905</b>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <b>RESIDENTIAL</b>	
A5. Latitude/Longitude: Lat. <b>43° 1'21.2"N</b> Long. <b>70°44'8.1"W</b> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.	
A7. Building Diagram Number <b>2</b>	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s) <b>772</b> sq ft	A9. For a building with an attached garage:
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <b>0</b>	a) Square footage of attached garage <b>N/A</b> sq ft
c) Total net area of flood openings in A8.b <b>0</b> sq in	b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <b>N/A</b>
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No	c) Total net area of flood openings in A9.b <b>N/A</b> sq in
	d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number <b>RYE, TOWN OF 330141</b>		B2. County Name <b>ROCKINGHAM</b>		B3. State <b>NH</b>	
B4. Map/Panel Number <b>33015C0288</b>	B5. Suffix <b>E</b>	B6. FIRM Index Date <b>05/17/2005</b>	B7. FIRM Panel Effective/Revised Date <b>05/17/2005</b>	B8. Flood Zone(s) <b>AE</b>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <b>9</b>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe)					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe)					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings\* ☐ Building Under Construction\* ☒ Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.  
Benchmark Utilized **RM#13** Vertical Datum **NGVD**  
Conversion/Comments

		Check the measurement used.
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) <b>5.5</b>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
b) Top of the next higher floor <b>9.9</b>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
c) Bottom of the lowest horizontal structural member (V Zones only) <b>N/A</b>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
d) Attached garage (top of slab) <b>N/A</b>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) <b>7.2</b>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
f) Lowest adjacent (finished) grade next to building (LAG) <b>7.4</b>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
g) Highest adjacent (finished) grade next to building (HAG) <b>8.1</b>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support <b>7.2</b>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001. ☒  
Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☒ No

Certifier's Name <b>Anne W. Bialobrzewski</b>		License Number <b>NH 752</b>	
Title <b>Land Surveyor</b>		Company Name <b>Stockton Services</b>	
Address <b>PO Box 1306</b>		City <b>Hampton</b> State <b>NH</b> ZIP Code <b>03843-</b>	
Signature <b>Anne W Bialobrzewski</b>		Date <b>05/24/10</b> Telephone <b>603 929-7404</b>	





<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>		For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 21 WALLIS ROAD		Policy Number
City RYState NH ZIP Code 03870		Company NAIC Number

#### SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments THIS CERTIFICATE IS FOR AN EXISTING STRUCTURE CONSTRUCTED PRIOR TO 1963.  
TWO EXISTING OUTBUILDINGS ARE NOT INCLUDED IN THIS CERTIFICATION.

*Anne W Bialobrysh*  
Signature

Date 05/24/10

☐ Check here if attachments

#### SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

#### SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
Signature	Date	Telephone	
Comments			

☐ Check here if attachments

#### SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum
- G10. Community's design flood elevation \_\_\_\_\_ ☐ feet ☐ meters (PR) Datum

Local Official's Name	Title
Community Name	Telephone
Signature	Date
Comments	

☐ Check here if attachments



# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 21 WALLIS ROAD	For Insurance Company Use: Policy Number
City RYE State NH ZIP Code 03870	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.

MAY 24, 2010 FRONT VIEW



MAY 24, 2010 REAR VIEW





44-2000 10:50

P.02/02



**State of New Hampshire  
DEPARTMENT OF ENVIRONMENTAL SERVICES**

6 Hazen Drive, P.O. Box 95, Concord, NH 03302-0095

**(603) 271-2147      FAX (603) 271-6588**



**WETLANDS AND NON-SITE SPECIFIC PERMIT 2003-00997**

**Permittee:** George Beliveau  
73 Brockton Street  
Manchester, NH 03102

**Project Location:** 21 Walls Road, Rye  
Rye Tax Map 17.3 /Lot No. 25

**Waterbody:** Tidal Buffer Zone/ Parsons Creek

## NOTE -- CONDITIONS

**APPROVAL DATE: 12/02/2005**

**EXPIRATION DATE: 12/02/2010**

Based upon review of the above referenced application, in accordance with RSA 482-A and RSA 485-A:17, a Wetlands Permit and Non-Site Specific Permit was issued. This permit shall not be considered valid unless signed as specified below.

**PERMIT DESCRIPTION:** Excavate, regrade and otherwise alter terrain within 14,000 sq. ft. of previously impacted upland tidal buffer zone to remove existing dwelling and outbuildings and construct a new dwelling and install a new subsurface septic system.

**THIS APPROVAL IS SUBJECT TO THE FOLLOWING PROJECT SPECIFIC CONDITIONS:**

1. All work shall be in accordance with plans by Stockton Services dated May 3, 2005 [revised Aug 8, 2005], as received by the Department on August 16, 2005.
2. This permit is contingent on approval by the DES Subsurface Systems Bureau.
3. All activity shall be in accordance with the Comprehensive Shoreland Protection Act, RSA 483-B (see attached fact sheet).
4. There shall be no further alteration of areas within NH DES Wetlands jurisdiction for lot development, driveways, for septic setback or any other construction activities.
5. Orange construction fencing shall be placed at the limits of construction to prevent accidental encroachment on wetlands.
6. Appropriate siltation/erosion/turbidity controls shall be in place prior to construction, shall be maintained during construction, and remain until the area is stabilized. Silt fence(s) must be removed once the area is stabilized.
7. DES Wetland Bureau Southeast Region staff shall be notified in writing prior to commencement of work and upon its completion.

**GENERAL CONDITIONS WHICH APPLY TO ALL DES WETLANDS PERMITS:**

1. A copy of this permit shall be posted on site during construction in a prominent location visible to inspecting personnel;
2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others;
3. The Wetlands Bureau shall be notified upon completion of work;
4. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits that may be required (see attached forms for status of federal wetlands permit);
5. Transfer of this permit to a new owner shall require notification to and approval by the Department;
6. This permit shall not be extended beyond the current expiration date.
7. This project has been screened for potential impacts to known occurrences of rare species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have received only cursory inventories, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.
8. The permittee shall coordinate with the NH Division of Historic Resources to assess and mitigate the project's effect on historic resources.

APPROVED: Frank D. Peterson  
DES Wetlands Bureau

BY SIGNING BELOW I HEREBY CERTIFY THAT I HAVE FULLY READ THIS PERMIT AND AGREE TO ABIDE BY ALL PERMIT CONDITIONS.

**OWNER'S SIGNATURE (required)**

**CONTRACTOR'S SIGNATURE (required)**





State of New Hampshire  
DEPARTMENT OF ENVIRONMENTAL SERVICES  
6 Hazen Drive, P.O. Box 95, Concord, NH 03302-0095  
(603) 271-2147 FAX (603) 271-6588

P.01/02



December 02, 2005

George Beliveau  
73 Brockton Street  
Manchester, NH 03102

RE: File # 2005-00997  
Rye Tax Map 17.3 /Lot # 25; Block

Dear George Beliveau:

Attached please find Wetlands Permit # 2005-00997 to: Excavate, regrade and otherwise alter terrain within 14,000 sq. ft. of previously impacted upland tidal buffer zone to remove existing dwelling and outbuildings and construct a new dwelling and install a new subsurface septic system.

The decision to approve this application was based on the following findings:

1. This is a minor impact project per Administrative Rule Wt 303.03(a). Projects within 100 feet of the highest observable tide line that do not meet the criteria of Wt303.02, Wt303.04 or Wt303.05.
2. The need for the proposed impacts has been demonstrated by the applicant per Wt 302.01.
3. The applicant has provided evidence which demonstrates that this proposal is the alternative with the least adverse impact to areas and environments under the department's jurisdiction per Wt 302.03.
4. The applicant has demonstrated by plan and example that each factor listed in Wt 302.04(a) Requirements for Application Evaluation, has been considered in the design of the project.
5. DES Staff conducted a field inspection of the proposed project on July 25, 2005. Field inspection determined the project proposal based on a revised layout of the new dwelling, with the driveway entrance off Appledore Ave. rather than Wallis Road, as originally proposed, is reasonable and significantly reduces the impact in the upland tidal buffer zone adjacent to salt marsh.
6. All new construction will occur a minimum of 50 feet landward of the highest observable tide line.
7. On 06/03/2005 a report dated May 30, 2004 from the Rye Conservation Commission was received stating "The Commission requests that the current plan be denied." Field inspection w/ Rye Conservation Commission, the applicant, consultant and DES staff took place July 25, 2005. Revised plans, based on information exchanged at the field inspection, were submitted to Rye Conservation Commission for review. Follow-up inquiries to the Rye Conservation Commission requesting comments on the revised plans were not responded to by the Commission.

Any party may apply for reconsideration with respect to any matter determined in this action within 20 days from the date of this letter. A motion for reconsideration must specify all grounds upon which future appeals may be based, and should include information not available to the Department when the decision was made. The department may grant reconsideration if, in its opinion, good reason is provided in the motion.

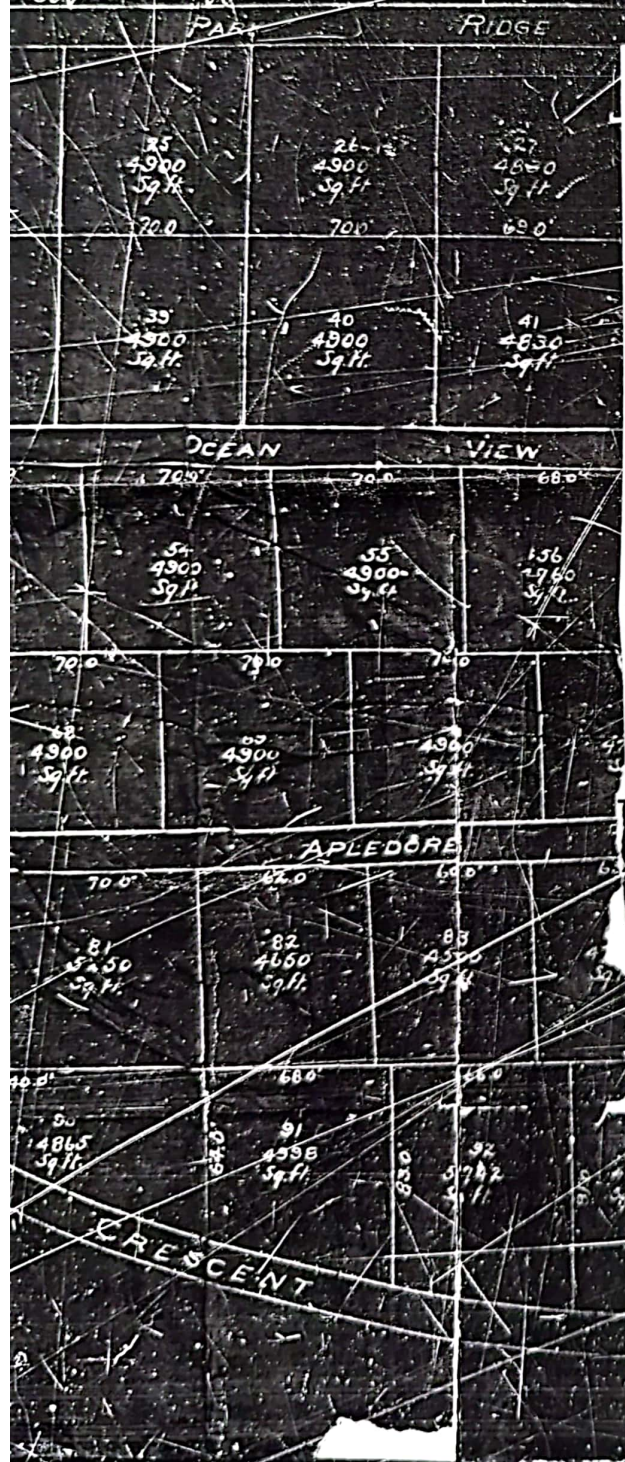
Your permit must be signed, and a copy must be posted in a prominent location on site during construction. If you have any questions please contact our office at (603) 271-2147.

Sincerely,

Frank D. Richardson, Ph.D.  
Senior Wetlands Inspector  
DES Wetlands Bureau

cc: Rye Conservation Commission





Fed. Res.  
Stamps  
#14.30

1927

1869 328

Know all Men by these Presents:

1352-149

Know all Men by these Presents, 1352-149

That we I, William Baum, divorced, of Manchester in the County of Hillsborough and The State of New Hampshire

for and in consideration of the sum of One Dollar

to me in hand before the delivery hereof, well and truly paid by Edmond J. Boufford of Manchester in the County of Hillsborough and The State of New Hampshire the receipt whereof I do hereby acknowledge, have granted, bargained, and sold, and by these presents do give, grant, bargain, sell, alien, convey, and confirm unto the said William Baum,

his heirs and assigns forever,

A certain tract or parcel of land situated in Eye in the County of Rockingham and The State of New Hampshire more particularly bounded and described as follows:

Beginning on the easterly side line of a proposed street known as Appledore Avenue at the intersection of said easterly side line of said Appledore Avenue with a proposed street known as Crescent Avenue; thence running along said easterly side line of said Appledore Avenue a distance of one hundred (100) feet, more or less, to a hub; thence turning and running in an easterly direction a distance of seventy-five (75) feet, more or less to the northerly side line of said Crescent Avenue; thence turning and running along said northerly side line of said Crescent Avenue a distance of one hundred twenty-five (125) feet, more or less to the point of beginning.

Together with all the right, title and interest of the grantor in and to that portion of Crescent Avenue lying southerly of the triangular plot herein conveyed, being lot 79 as shown on a plan entitled "Plan of Odiorne Heights, Eye, New Hampshire" by C.H. Chandler, C.E. to be recorded herewith.



RECEIVED

FEB 05 1998

ENVIRONMENTAL SERVICES  
BY NH DES WETLANDS BUREAU"

WB # 97-485

6c

SCALE: <u>VARIED</u>		APPROVED BY:		DRAWN BY <u>GEORGE WILSON</u>	
DATE: <u>FEB. 3<sup>RD</sup> 1998</u>				REVISED	
DRAWN FOR:		THE TOWN OF RYE, NH		CONSERVATION COMMISSION	
NORTHEAST WETLAND RESTORATION		DRAWING NUMBER		1 of 2	

RECEIVED

FEB 05 1998

ENVIRONMENTAL SERVICES  
BY NH DES WETLANDS BUREAU"

WB # 97-485

6d

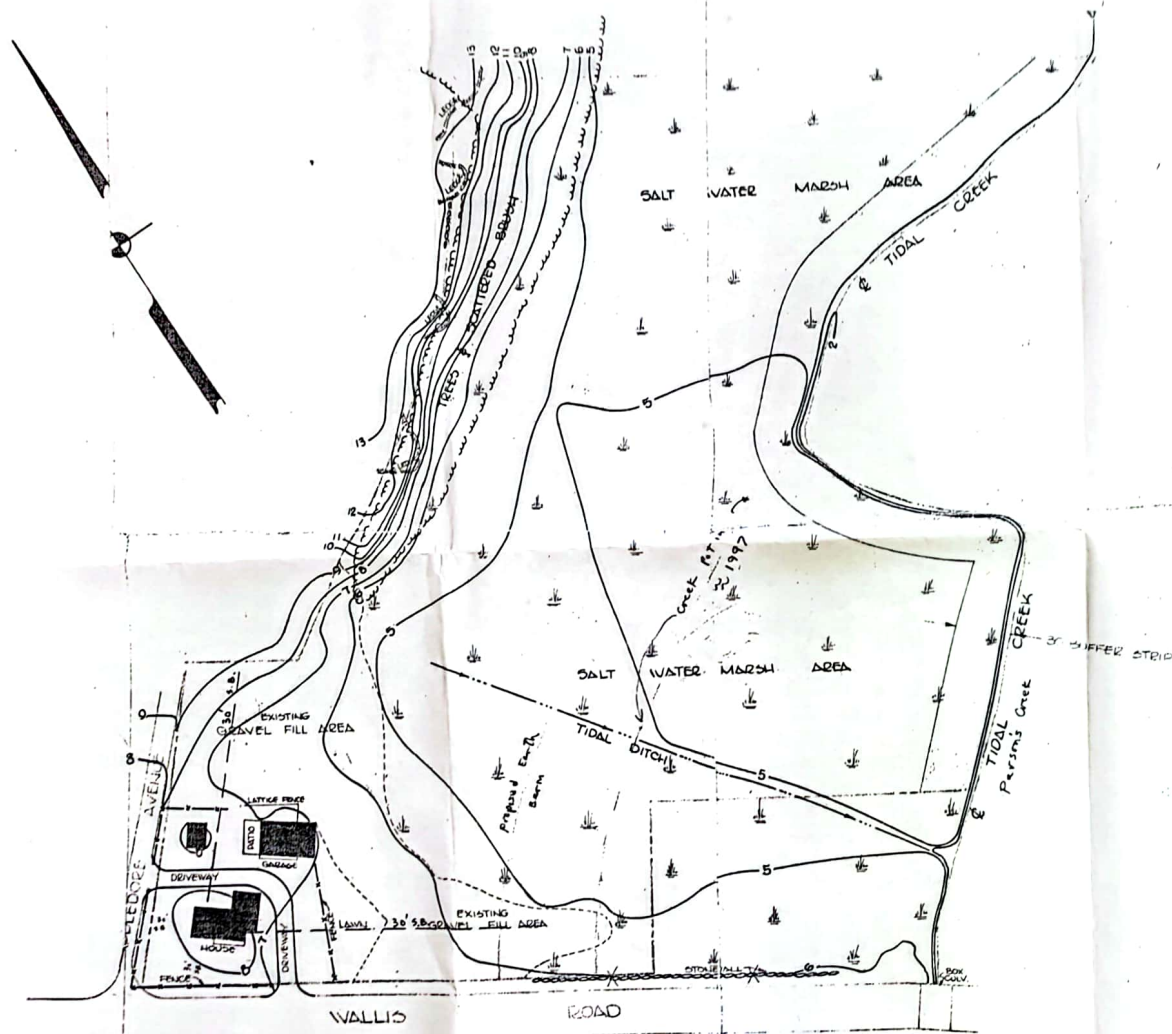
SCALE: <u>VARIED</u>		APPROVED BY:		DRAWN BY <u>GEORGE WILSON</u>	
DATE: <u>FEB 2<sup>ND</sup> 1998</u>				REVISED	
DRAWN FOR:		THE TOWN OF RYE, NH		CONSERVATION COMMISSION	
NORTHEAST WETLAND RESTORATION		DRAWING NUMBER		2 of 2	

97-485

8a

SCALE: <u>VARIED</u>		APPROVED BY:		DRAWN BY <u>GEORGE WILSON</u>	
DATE: <u>FEB. 3<sup>RD</sup> 1998</u>				REVISED	
DRAWN FOR:		THE TOWN OF RYE, NH		CONSERVATION COMMISSION	
NORTHEAST WETLAND RESTORATION		DRAWING NUMBER		1 of 2	





1" = 40'  
Beliveau Res



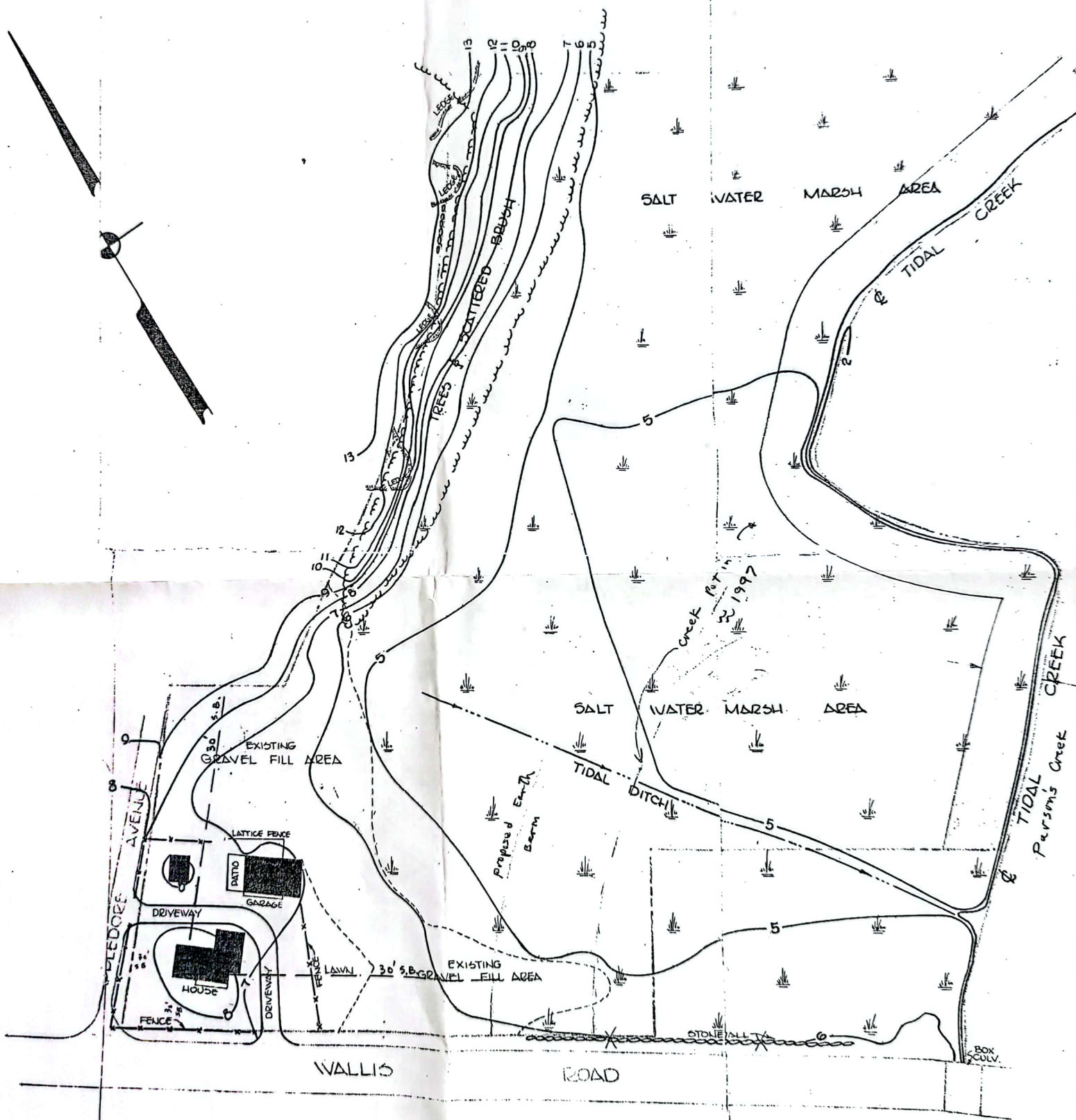
Locust  
Plan

Tax Map 17.3  
Lot 25



EXISTING TOPOGRAPHY BELIVEAU PROPERTY RYE, NH			
MCKENNA ASSOCIATES ENGINEERS FORTSMOUTH, NH			
DRAWN BY S. MCKENNA	DATE 1-10	SCALE 1" = 40'	NO. 130
0	60-240	1	2

Beliveau Res  
R112



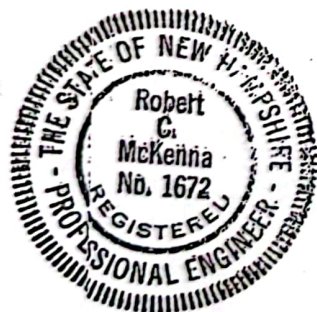
1" = 40'  
Beliveau Res

Loagst  
Baw

Tax A.  
964-6777

- Tax Map 17.3

lot 25



EXISTING TOPOGRAPHY

BELIVEAU PROPERTY

RYE, N.H.

McKENNA ASSOCIATES

ENGINEERS

FORTSMOUTH, N.H.

DRAWN S. MEEKINS

SCALE 1"=40'

DATE MAY 1969

8

69-240

1

2

Beliveau Res  
Rye



THIS IS  
IN JOB  
FOLDER  
432

Locust  
Plaw

Tax A:  
964-6777

- Tax Map 17.3

lot 25



EXISTING TOPOGRAPHY	
<u>BELIVEAU PROPERTY</u>	
RYE, N.H.	
McKENNA ASSOCIATES	
ENGINEERS	PORTSMOUTH, N.H.
DRAWN S. MEEKINS	SCALE 1"=40'
DATE MAY 1969	
0	69-2/10
1	2

Beliveau Res  
Rye